



**To: The Owners, Strata Plan BCS2646
c/o Mark Yee Fung, Strata Manager
FirstService Residential
700 - 200 Granville Street
Vancouver BC V6C 1S4**

**Site Visit: February 27, 2024
Submitted: December 13, 2024 by
RDH Building Science Inc.
4333 Still Creek Drive #400
Burnaby BC V5C 6S6**

Contents

1	Introduction	1
2	Coopers Pointe	2
3	Assessments	4
3.1	Physical Assessment	4
3.2	Financial Assessment	6
4	Expenditures	9
4.1	Major Maintenance and Renewal Expenditures	9
5	Major Maintenance and Renewal Planning Horizons	11
5.1	Strategic Planning Horizon	11
5.2	Tactical Planning Horizon	12
5.3	Project Implementation	14
6	Funding Scenarios	16
6.1	Minimum Funding Requirements	16
6.2	Alternative Funding Scenarios	16
6.3	Current (2024) Funding Scenario	18
6.4	Alternative Funding Scenario # 1	19
6.5	Alternative Funding Scenario #2	20
7	Next Steps	21

Appendices

Appendix A Glossary of Terms

Appendix B Asset Inventory

Appendix C 10-Year Tactical Plan

Appendix D Disclosures and Disclaimers

Appendix E Funding Scenario Cash Flow Tables

Appendix F RDH Qualifications

Appendix G Insurance Certificate

1 Introduction

RDH Building Science Inc. (RDH) was retained by The Owners, Strata Plan BCS2646 (Owners) to prepare a Depreciation Report Update (Report) for the building known as Coopers Pointe, which is located at 980 Cooperage Way, Vancouver, BC. The Report considers the common and limited common property components (Assets) that the Strata Corporation is responsible to maintain, repair, and replace.

The Report is intended to help the Owners, the Strata Council, and the Management Team make informed decisions about the allocation of resources to the common property Assets (such as roofs, boilers, and elevators).

This Report meets the requirements stipulated in the current Strata Property Act and Regulations. The Report includes a physical inventory of the common property Assets; estimated costs for capital expenditures over a 30-year horizon; and three funding models. Refer to the appendices for RDH's qualifications and information on errors and omissions insurance. In accordance with the requirements of the Act, RDH declares that there is no relationship between the employees of RDH and the Owners.

This Report is an update to the previous Depreciation Report Update, which was issued on March 28, 2019. As part of our work for this Report, a site visit was completed on February 27, 2024. The financial data is based on the 2024 fiscal year. The Report was distributed on December 13, 2024.

The Report is a synopsis of a significant volume of data and has two parts: the summary and the appendices. The summary is intended to provide an overview of the Report. The appendices provide detailed information to support the summary Report. The appendices include a glossary of terms. Words that are *italicized* are defined in the glossary.

As the physical and financial status of the Assets change over time, the Report will require updating. The Strata Property Act and Regulations currently requires updates to the Report every five years; however, the Owners can choose to update portions of the Report more frequently, at their discretion, to reflect changes to their financial status and completed work.

2 Coopers Pointe

Coopers Pointe is a residential high-rise building comprised of 86 suites, situated above a three-storey, below-grade concrete parkade. The building is typically of cast-in-place concrete construction with steel stud in-fill walls.

The principal systems in the building include the building enclosure (the separation of the interior from exterior space), electrical (the electrical distribution, communications, and security equipment), mechanical (heating and plumbing), elevators, fire safety (sprinklers, fire detection, and egress equipment), interior finishes, amenities, and site work. The Assets within each system are described in detail in Appendix B.

Key physical parameters of Coopers Pointe are summarized in Table 2.1, Figure 2.1, and Figure 2.2 below.


TABLE 2.1 KEY PHYSICAL PARAMETERS		
 <p><i>Figure 2.1 West elevation photograph of Coopers Pointe.</i></p>	Date of first occupancy (approximate)	2007
	Approximate gross floor area, including the parkade (ft ²)	170,300
	Stories above-grade	15
	Total number of strata lots	86



Figure 2.2 Aerial photograph of Coopers Pointe (©Google 2024).

3 Assessments

The Report combines two distinct types of analysis: a *physical assessment*, and a *financial assessment*. The assessments are used to determine what the Owners possess, what condition the Assets are in, what the Owners are responsible for, and the *capital costs* associated with the Assets.

The process of preparing a Depreciation Report Update is summarized in Figure 3.1 below:

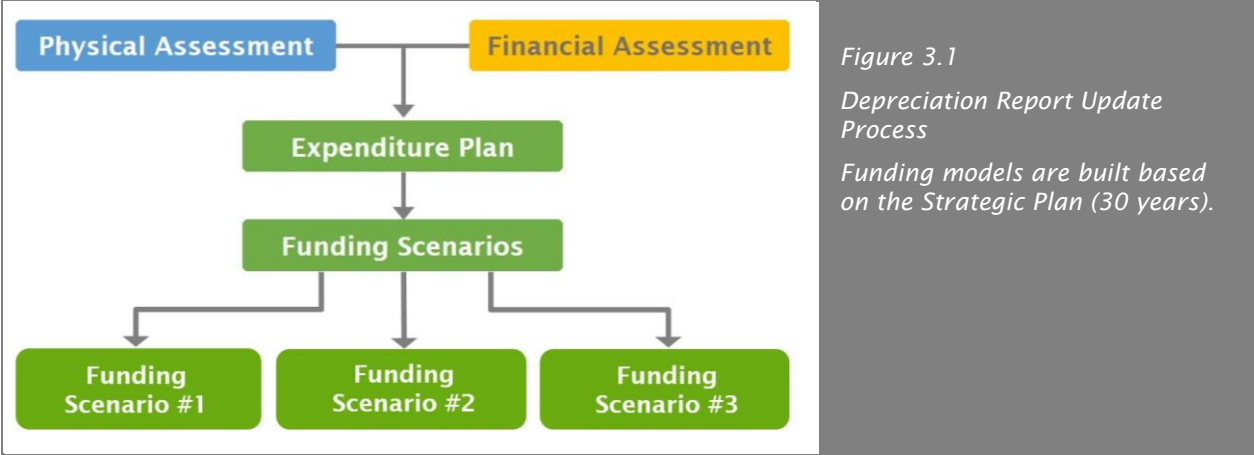


Figure 3.1
 Depreciation Report Update Process
 Funding models are built based on the Strategic Plan (30 years).

The following sections provide a brief overview of the physical assessment and financial assessment including a summary of key information.

3.1 Physical Assessment

The physical assessment has two parts: an inventory and an evaluation.

The *Asset Inventory* identifies “the common property, the common Assets and those parts of a strata lot or limited common property, or both, that the Strata Corporation is responsible to maintain or repair under the Act, the Strata Corporation’s bylaws or an agreement with an Owner” (Strata Property Act Regulation, BC Reg 43/2000, Ch. 6.2). In other words, it identifies what the Strata Corporation owns and must repair and maintain. The Asset Inventory is included as an appendix to this Report.

Some Assets have been identified as Placeholders. Placeholder Assets are included in the Asset Inventory for reference purposes; however, they are not included in the financial analysis and do not affect the funding models or other financial calculations. Placeholder Assets are identified based on typical agreements with utilities, the Strata Corporation bylaws, and information provided by the Strata Manager and Council. A summary of Placeholder Assets is provided in Table 3.1 below.

TABLE 3.1 SUMMARY OF PLACEHOLDER ASSETS	
ASSET	PARTY RESPONSIBLE FOR CAPITAL EXPENDITURES
Mech 23 - Condensing Unit	→ Individual Owner responsibility
Mech 24 - Fan Coil Unit	→ Individual Owner responsibility

The evaluation is used to forecast common repairs, replacements, and maintenance activities that “usually occur less often than once a year or that do not usually occur” (Strata Property Act Regulation, BC Reg 43/2000, Ch.6.2). In other words, the evaluation predicts only events that occur at intervals greater than one year.

The evaluation is typically based on:

- A review of historical documentation, such as meeting minutes and invoices,
- Discussions with Strata Corporation representatives,
- A visual review of the building, limited to a sample of readily accessible Assets, and
- A review of other technical information, such as construction drawings, previous investigations or reports, and maintenance manuals.

Destructive testing, disassembly, and performance testing are not included in the physical evaluation; this Report does not replace a Warranty Review or Condition Assessment. Please visit www.rdh.com for additional information on Warranty Reviews and Condition Assessments.

The condition of some Assets may be concealed, for example, buried infrastructure (such as sanitary drainage lines) or building enclosure Assets (such as protected waterproofing membranes at decks, podiums, and roofs). For Assets with the potential for concealed failure, a number of tools are used to assign a reasonable expected service life including the typical performance of the Asset in other, similar properties; the performance history reported by the Owners; the original drawings; and any previous investigation reports commissioned by the Owners. It is expected that the Owners will need more detailed reviews as Assets approach the end of their service lives. A summary of the Asset service lives is provided in the appendices of this Report. Allowances for additional reviews or investigations are included, as appropriate. Recommendations taken from any additional reviews should be incorporated into future Report updates.

As part of the physical assessment, RDH compiled a history of completed projects by reviewing the documents provided by the Owners and interviewing Strata Corporation representatives. The history is summarized in Table 3.2 below. The history of renewals establishes the chronological age of the Assets while the history of major maintenance may affect the effective age of the Assets.

TABLE 3.2 MAINTENANCE AND RENEWALS HISTORY

Building Enclosure

- 2023 - Locally repaired the traffic-bearing parkade membrane, including concrete crack repairs throughout the parkade
- 2020 - Renewed the urethane membranes at balconies and eyebrows
- 2020 - Commissioned a Building Enclosure Condition Assessment (prepared by RDH)
- 2019 - Commissioned a Depreciation Report Update (prepared by RDH)
- 2018 - Commissioned a 10-Year Warranty Review (prepared by RDH)
- 2012 - Commissioned a 5-Year Warranty Review (prepared by Halsall)
- 2011 - Commissioned site visit reports (prepared by Morrison Hershfield)
- 2008 - Commissioned a Building Envelope Maintenance Manual (prepared by RJS Engineering)

TABLE 3.2 MAINTENANCE AND RENEWALS HISTORY

<p>Electrical</p> <ul style="list-style-type: none"> → Ongoing - Installed the electrical vehicle infrastructure → 2024 - Commissioned an Electrical Vehicle Ready Report → 2023 - Upgraded the security cameras including a new DVR, replaced 7 cameras, and replaced system computers and monitors → 2020 - Retrofitted all the common light fixtures, including replacement of all light bulbs and select light fixtures with LED
<p>Mechanical</p> <ul style="list-style-type: none"> → 2024 - Replaced the air conditioning compressor for the gym → 2024 - Replaced an expansion tank → 2016 - Replaced the direct digital control panels → 2013 - Replaced one hot water storage tank → 2013 - Replaced the electronic actuator control devices → As required - Inspected and cleaned sanitary and storm drainage lines
<p>Elevator</p> <ul style="list-style-type: none"> → 2024 - Commissioned an Elevator Maintenance Inspection Report (prepared by KJA)
<p>Amenities</p> <ul style="list-style-type: none"> → 2023 - Replaced the concierge desk computers and monitors
<p>Interior Finishes</p> <ul style="list-style-type: none"> → 2020 - Installed the rubber sports flooring in the gym
<p>All Systems</p> <p>(Enclosure, Electrical, Mechanical, Fire Safety, Interior Finishes, Amenities, Sitework)</p> <ul style="list-style-type: none"> → 2023 - Ongoing - We understand that a handyman is retained by the Owners to complete various maintenance and renewal tasks throughout the building across multiple systems

3.2 Financial Assessment

The financial assessment estimates the future costs associated with the Assets and examines how future funding requirements will be affected by current financial practises. More specifically, the financial assessment identifies:

- The opening balance in the *Contingency Reserve Fund* (CRF).
- The estimated value of capital expenditures, expressed in *Current Year Dollars* (CYD).
- The estimated future value of capital expenditures, expressed in *Future Year Dollars* (FYD). These costs are calculated by applying an inflation rate (3% per year) to the current costs.

The future value of Major Maintenance and Renewal costs can be compared against the building reproduction cost. The building reproduction cost is the cost to reproduce the buildings in similar materials, in accordance with current market prices, and is obtained from the most recent insurance appraisal.

The financial assessment begins with a review of the current financial situation of the Owners. Table 3.3 below summarizes the key financial parameters reviewed as part of the financial assessment.

TABLE 3.3 KEY FINANCIAL PARAMETERS		
PARAMETER	PREVIOUS REPORT (2018/2019)	UPDATE REPORT (2024)
Fiscal year end	July 31	December 31
Building reproduction cost	\$34,498,000	\$51,088,000
Operating budget (excluding CRF contribution)	\$577,030	\$717,011
Annual CRF contribution	\$34,605	\$71,148
Accumulated CRF Balance	\$408,968	\$522,118*

**The balance in the CRF varies each month as contributions are made and funds are withdrawn for capital renewal projects and major maintenance activities. The accumulated CRF balance is reconciled as of October 31 of the 2024 fiscal year.*

The Report includes capital costs only: the costs for activities that occur at intervals greater than one year. Activities that occur annually or more frequently than once a year are considered operating expenses and are not included in the Report funding models and calculations.

Capital costs can be distributed into three general categories:

- *Catch-up costs.* The cost to complete any deferred maintenance and renewals.
- *Keep-up costs.* The cost to complete planned cyclical maintenance and renewals.
- *Get-ahead costs.* The cost to adapt, upgrade, and improve.

The Report is based on Keep-up costs. Get-ahead costs (improvements) may also be included, but only if they are required to meet changing codes or standards.

Costs are considered *Class D* estimates ($\pm 50\%$), as defined by the Engineers and Geoscientists of British Columbia (EGBC), or unless noted otherwise. Unless otherwise noted, soft costs, such as consulting fees and contingency allowances are not included, because these costs are highly dependent on the scope of work for a particular project. Scopes of work for specific projects should be developed well in advance so that project budgets, including soft costs, can be refined. The current value of many Major Maintenance and Renewal activities is calculated by multiplying the quantity of an Asset by standard unit rates (for example, the cost per square foot or cost per linear foot). Quantities are measured from original construction documents and visual observations on-site. The unit rates are based on historical information, construction trends, information from contractors, and other sources, as appropriate. Unit rates will fluctuate over time. Basic unit rates are adjusted for the relative complexity of the property. A detailed list of activities and their associated costs are available through the appendices of this Report.

Costing Caveats

The capital costs given in the Report provide a basic estimate for long term planning. They are intended to help guide priority setting and provide a clearer sense of timing. They are not suitable for planning specific projects as they cannot account for project soft costs (such as taxes, grants, engineering or



design, municipal permits, etc.), or for project specific construction costs (such as access to the work (e.g. scaffold), contingencies, hazardous materials, disposal, project management, etc.). Such costs cannot be estimated without more information, including a project scope and preliminary design work. Once a project reaches the planning stages, a reasonable assumption of soft costs should be made based on the actual needs of the project. It is recommended that this happens well in advance of predicted work to allow time to plan for the funding of the soft costs.



4 Expenditures

There are two main types of activities that relate to expenditures:

- *Renewal* refers to the replacement or refurbishment of an Asset at the end of its useful service life.
- *Maintenance* refers to activities that preserve the Assets, to ensure the Assets will last their predicted service lives and perform as expected.
 - *Major Maintenance* refers to maintenance that occurs at intervals greater than one year, for example, every 18 months, two years, five years. Major Maintenance typically includes activities, such as testing and inspecting, and is considered a capital expense.
 - *Minor Maintenance* includes maintenance activities that occur once a year or more frequently, such as quarterly or monthly.

The costs associated with Major Maintenance and Renewals are included in the Report funding models, as required by the Strata Property Act. Costs associated with Minor Maintenance are included in the Owners' operating budget.

4.1 Major Maintenance and Renewal Expenditures

Table 4.1 below summarizes all Major Maintenance and Renewal costs by system, including costs forecasted for the next 30 years. The values are rounded.

TABLE 4.1 CAPITAL EXPENDITURES SUMMARY BY SYSTEM				
SYSTEM	10 YEAR CAPITAL COSTS (WITHOUT INFLATION)	10 YEAR CAPITAL COSTS (WITH INFLATION)	30 YEAR CAPITAL COSTS (WITHOUT INFLATION)	30 YEAR CAPITAL COSTS (WITH INFLATION)
Building Enclosure	\$816,019	\$901,486	\$10,186,462	\$18,617,498
Electrical	\$157,020	\$167,018	\$804,110	\$1,291,188
Mechanical	\$353,323	\$392,509	\$2,067,104	\$2,983,391
Elevator	\$60,000	\$60,000	\$688,000	\$963,310
Fire Safety	\$175,555	\$188,191	\$478,507	\$704,771
Interior Finishes	\$166,109	\$182,866	\$423,297	\$627,527
Amenities	\$19,875	\$21,372	\$61,300	\$87,884
Sitework	\$6,250	\$6,438	\$68,486	\$123,466
Building Total	\$1,754,151	\$1,919,879	\$14,777,266	\$25,399,035

Approximately 10% of the Owners' capital expenditures may occur in the next 10 years. The distribution of estimated capital expenditures over the next 10 years is shown in Figure 4.1 below.

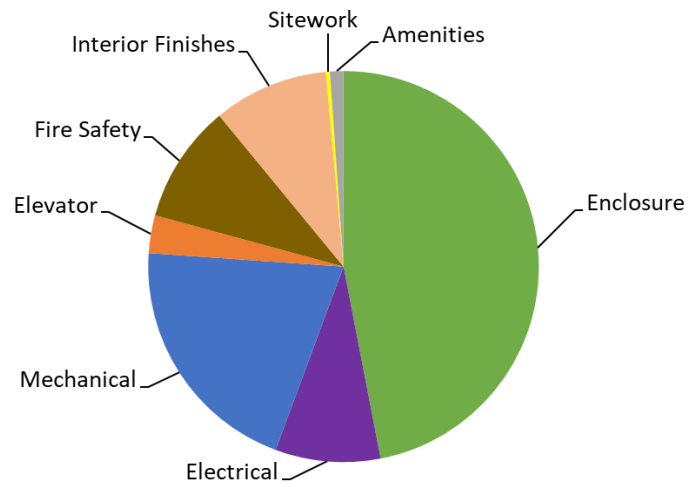


Figure 4.1 Distribution of estimated capital expenditures over 10 years by system.

Section 5 discusses the timing and size of renewal projects forecast for the next 30 years. A detailed list of each Major Maintenance and Renewal activities, including the frequency, costs expressed in CYD, and costs including inflation rates, expressed in FYD are available to the Owners.



5 Major Maintenance and Renewal Planning Horizons

There are three common planning horizons, used for making different types of capital planning decisions:

- **Strategic** (30 years): The average service life of many Assets is approximately 25 years (such as roofs), so a long-range view captures most renewal projects. In some cases, an Asset may be replaced more than once in the 30-year horizon.
- **Tactical** (5-10 years): Many residential Owners will own their strata lot for less than 10 years; the Tactical Plan captures projects that may occur while current Owners still have an interest in the Strata Corporation.
- **Operational** (1 year): The annual operating period encompasses one fiscal cycle (12 months). Typically, the budget is presented and approved at the Annual General Meeting (AGM) and will include any capital expenditures paid from the CRF, as well as the CRF contributions for the year. As a minimum, the decision on the CRF contribution should consider projects forecast for the next five to 10 years.

5.1 Strategic Planning Horizon

Estimated major maintenance and renewal costs over the next 30 years are shown on the graph below (Figure 5.1). The blue bars represent the estimated value of capital costs.

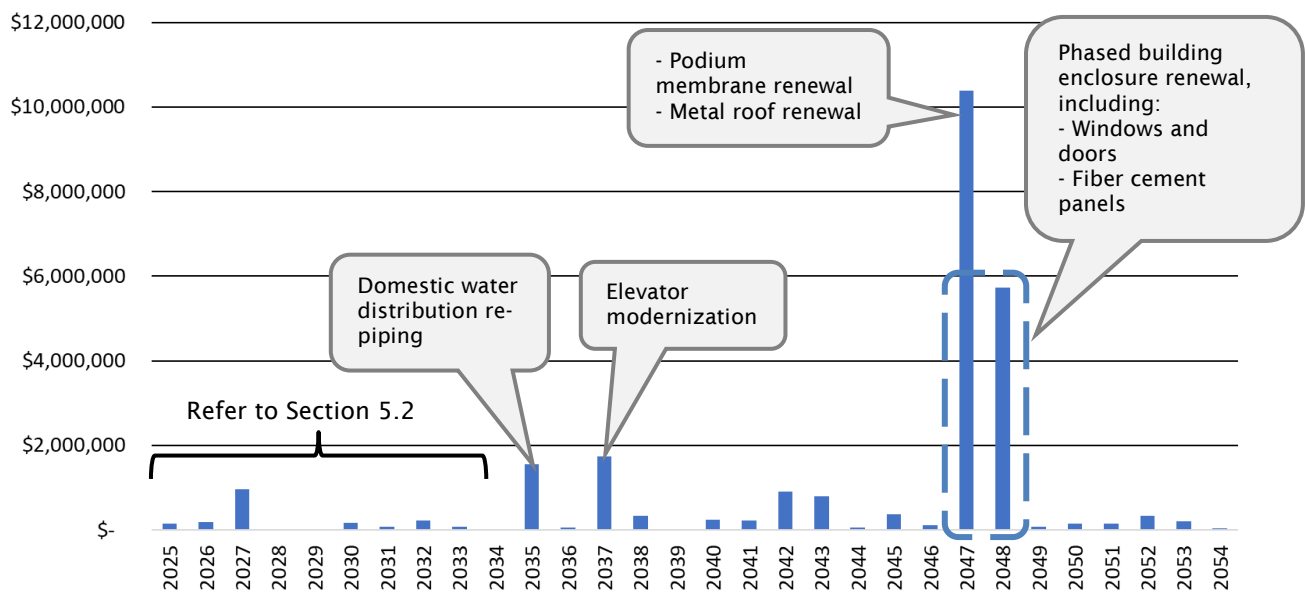


Figure 5.1 Strategic Forecast (30 Years), showing the approximate timing and value of some key capital expenditures.

Each bar on the graph represents a collection of different Major Maintenance and Renewal activities, each with different values. Detailed information about each year, including a description of the Major Maintenance and Renewal activities and estimated costs, is available in the appendices.

The Strategic Plan represents an estimate of future projects. The actual timing of projects will likely vary. Assets may be replaced earlier or later, depending on the quality of maintenance, in-service conditions, and other factors. The Owners can anticipate changes to the Strategic Plan with each update of the Report.

5.2 Tactical Planning Horizon

The graph below shows the projected major maintenance and renewal costs for the next 10 years (Figure 5.2). Commonly, building managers refer to a 5-Year Tactical Plan; however, a 10-Year Plan allows the Owners to see a wider range of projects.

The bars indicate the years in which an event (or bundle of events) is most likely to occur, as well as the total magnitude of Major Maintenance and Renewal costs for that year and the costs broken down by system. The soft costs associated with project implementation, such as site access, design, and contract administration are not included.

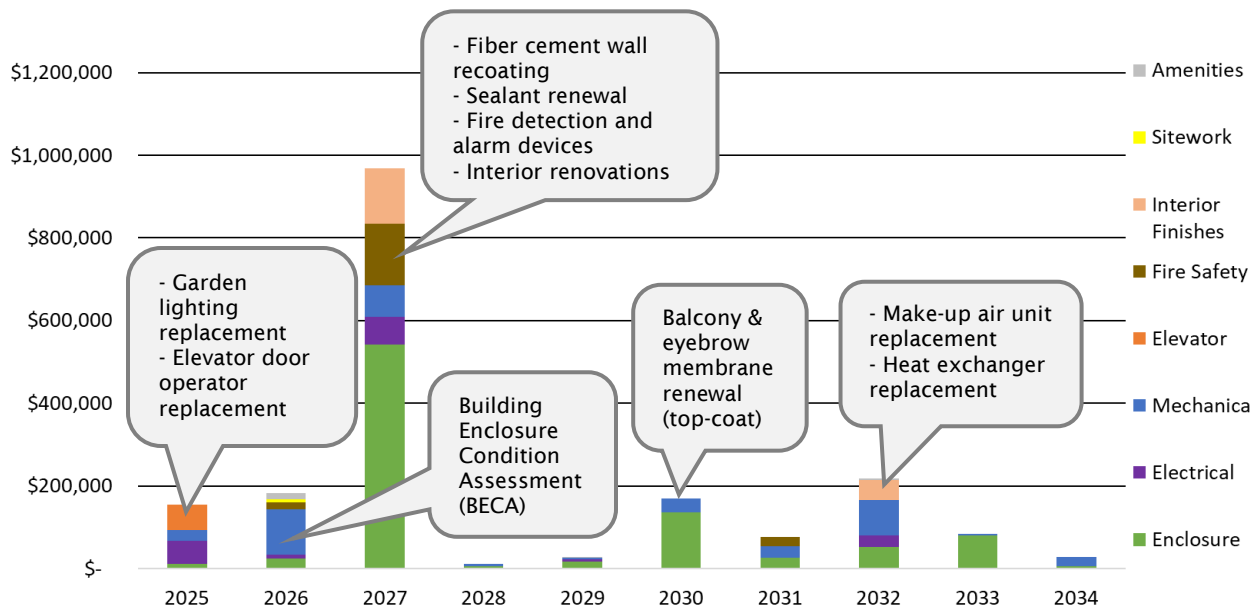


Figure 5.2 Tactical Forecast (10 years), showing the approximate timing and value of some key capital expenditures.

The Tactical Plan above represents one of many possible approaches to planning Major Maintenance and Renewal activities. The Owners can use this initial plan as a tool, a starting point to identify probable projects, priorities, and strategies. The actual cost, timing, and scope of projects will be determined by the Owners and may be reflected in updates to the Report.

To help the Owners start the project planning process, some of the events forecast for the next 10 years are listed below. The list below is not comprehensive; all Major Maintenance and Renewals activities are included in Appendix B. The list focuses on significant renewals, major maintenance events, assessments, and repairs that are needed to ensure the Assets achieve their full service life.

Building Enclosure

- Plan to update to the 2020 Building Enclosure Condition Assessment (BECA). The BECA would provide the Owners with detail on the existing conditions of the building enclosure Assets, such as the exterior wall cladding, balcony and deck membranes, original sealant, windows and doors, the main roof membrane, and the podium membrane and parkade below. The Owners may also be interested in learning about assemblies that will help mitigate or adapt to the effects of climate change and discuss

which building Assets can be considered to help meet impending legislative requirements. The assessment should be completed in advance of the various building enclosure renewals to assist with the planning process.

- The Owners should plan for the repainting of the fibre cement wall cladding and the replacement of exterior sealants. A BECA or targeted condition assessment would be a prudent first step in determining the existing conditions and remaining service life of these original Assets. Depending on the findings, the Owners may be able to defer the exterior major maintenance and renewals until the next cycle of balcony and eyebrow membrane renewals.

Electrical

- Engage an electrical consultant to establish and implement inspection, cleaning, and maintenance requirements, including thermographic survey protocol. Refine replacement scope, timing, and cost for major electrical power and distribution Assets.
- It is our understanding the Owners are planning to replace the garden lighting. Costs associated the lighting replacement have been allocated for 2025.
- Anticipate the modernization of the proximity access control system (key fobs), as required, due to technological obsolescence.

Mechanical

- Jetflush or auger various drainage piping Assets and insert video cameras into the main lines to conduct pipe inspection.
- Anticipate replacement of various Assets associated with the domestic water heating and distribution systems. These Assets would include:
 - Domestic hot water storage tanks
 - Variable frequency drives
 - Booster pumps
 - Various valves, motors, and smaller pumps
- Plan for the next cycle of rebuilding or replacement of the make-up air unit in the mechanical penthouse. The Owners should consult with their mechanical service contractor to confirm its existing conditions and estimate its remaining service life.
- Anticipate cyclical replacement or repair of the heat exchangers in the mechanical room, as required.

Fire Safety

- Anticipate replacing or modernizing various fire safety Assets, as required due to technological obsolescence. The Owners should consult with their fire safety maintenance contractor to confirm the age and dependability of the equipment and confirm upcoming renewal requirements.

Elevator

- Based on the findings of the Elevator Maintenance Inspection report by KJA, the Owners should plan for the replacement of the elevator door operators in the near future. The replacement of the door operators is forecasted for 2025.

Ongoing Mechanical, Electrical & Fire Safety

- Many of the building's mechanical, electrical, and fire safety Assets are assessed on an ongoing basis as a part of maintenance contracts. Major Maintenance and Renewal expenses pertaining to these Asset categories have been indicated throughout the 10-Year Tactical Plan. It should be noted that these have been included for the purposes of cost forecasting; however, the exact timing, the dependability of the equipment, and the upcoming renewal requirements should be considered by the appropriate maintenance contractor. The specific activities can be seen in the appendices.

Interior Finishes

- Interior renovations are completed to refurbish the interior common areas and are typically renewed at the Owners' discretion. The Assets would include:
 - Carpet
 - Paint
 - Wallpaper
 - Resilient Sheet Flooring
 - Interior light fixtures

5.3 Project Implementation

The projects identified in the previous section represent a preliminary step that is only intended to help the Owners identify, prioritize, and plan projects. Most significant renewal projects identified in the Report will subsequently go through four basic steps before implementing the work: Assessment, Design, Documentation, and Quotation (Figure 5.3).

- **Assessment** – Determines what work must be done, what should be done, and what could be done in general terms. The evaluation will help the Owners understand the risks and opportunities associated with deferring or implementing renewals work.
- **Design** – Refines the recommendations from the evaluation and defines what work will be done in a specific project. The Design may include recommendations for different project strategies, such as phasing or bundling projects or may include recommendations for upgrades.
- **Documentation** – Describes the project in enough technical detail to get competitive pricing.
- **Quotation** – Obtains competitive pricing from different contractors or service providers to perform the work described in the documents, including alternate prices for optional work.

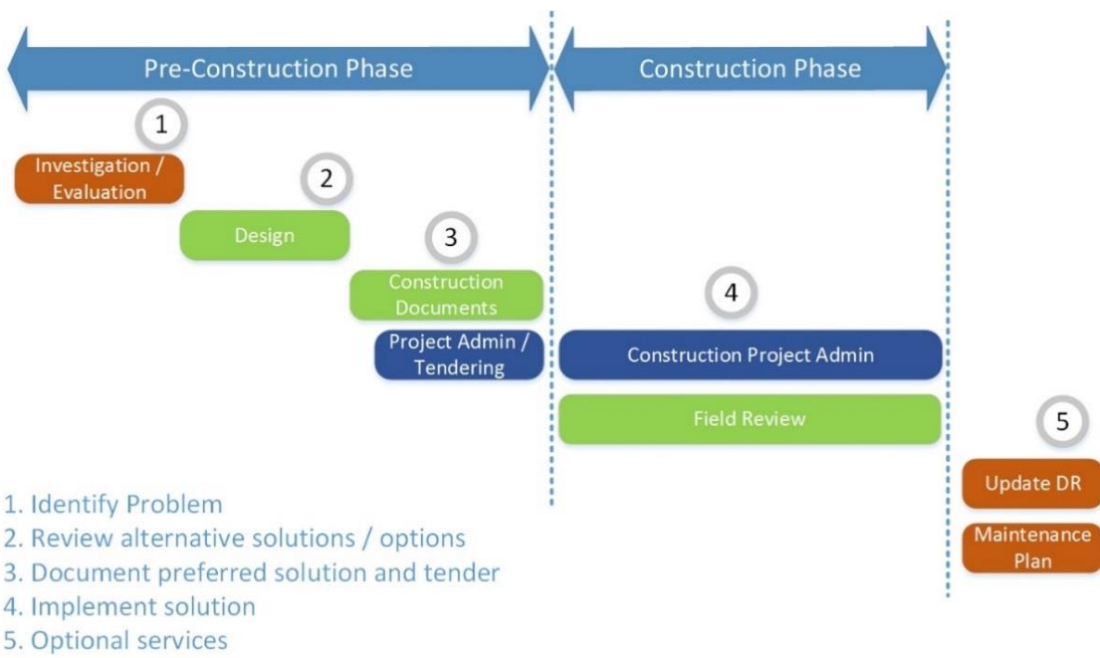


Figure 5.3 Typical phases and sub-phases associated with implementation of a renewal project.

The time period for each step can range from a few days to a few months or more, depending on the scale of the project under consideration. The budget and scope of work will be refined in each step. Most estimates currently included in the Report are considered Class D ($\pm 50\%$) due to the lack of information regarding specific projects and are based on a number of general assumptions regarding scopes of work.

The Owners can implement projects in a variety of ways, including:

- *Targeted Projects*. These projects are localized to particular portions of the building. Different exposure conditions and wear patterns may require that only some sections of the building require renewal at one point in time.
- *Phased Projects*. These projects are carried out in multiple stages rather than as a single coordinated project. Phased projects can reduce the financial burden by spreading the costs over a longer time period.
- *Comprehensive Projects*. These projects are implemented as one coordinated undertaking. Comprehensive projects may allow the Owners to leverage the best economies of scale, shorten the overall duration, and lower the overall costs.
- *Bundled Projects*. These projects bundle or combine various related renewal activities (e.g. renewals that are located in close physical proximity, or that require the same type of trade workers). Bundled projects may allow the Owners to leverage economies of scale and lower the overall costs, improve the quality of the work, and incorporate upgrades.

The scope of the Report does not compare different implementation methods.

6 Funding Scenarios

The physical assessment and financial assessment were used to create a tentative schedule and budget for forecasted major maintenance and renewal projects. Within this section, hypothetical *funding scenarios*, also known as *funding models*, based on different annual contributions to the CRF are presented.

The Owners can use the funding scenarios to choose an appropriate funding strategy, based on their tolerance for risk and desired standard of care for the property. RDH provides the tools so the Owners can determine a CRF contribution that suits their needs.

6.1 Minimum Funding Requirements

The Strata Property Act Regulations, BC Reg 43/2000, Ch. 6.1. dictates that “(1) For the purposes of section 93 of the Act, the amount of the annual contribution to the CRF for a fiscal year, other than the fiscal year following the first AGM, must be determined after consideration of the most recent depreciation report, if any, obtained under section 94 of the Act. (2). The amount of the annual contribution must be at least 10% of the total amount budgeted for the contribution to the operating fund for the current fiscal year.”

Table 6.1 below shows the calculation to confirm the Owners meet the minimum requirements set out in the Strata Property Act Regulation.

TABLE 6.1 MINIMUM FUNDING REQUIREMENT CALCULATION	
PARAMETER	VALUE
2024 operating budget (excluding CRF contribution)	\$ 717,011
→ 10% of the operating budget	\$ 71,701
2024 CRF Contribution	\$ 71,148
Does the CRF contribution exceed 10% of the operating budget?	No

Although the Owners do not quite meet the statutory minimum contribution to the CRF, it is important to note that the statutory guideline is not a good measure of the financial preparedness of the Corporation. It is the Report, not the operating fund, which provides information about the longer-term repair, maintenance, and replacement costs for the Owners.

6.2 Alternative Funding Scenarios

The funding scenarios below compare the financial impact of different funding levels over the next 30 years. The scenarios serve as a sensitivity analysis that allow the Owners to evaluate how changes to the CRF impact the number and size of special levies. The actual size and timing of special levies will be affected by how the Owners choose to implement the renewal projects.

While there are many different scenarios that can be generated, Table 6.2 below compares the following alternatives:

- **Current (2024)**. The CRF allocation that was approved by the Owners at the last AGM. The current allocation is also known as the status quo.
- **Alternative #1**. This funding scenario is based on an initial annual CRF contribution of \$100,000 and continues with a 4% annual increase thereafter.

- **Alternative #2.** A further increase from the Current Funding Scenario. This funding scenario is based on an initial annual CRF contribution of \$200,000 and continues with a 5% annual increase thereafter. The Alternative Funding Scenarios are just two of many possible scenarios for the Owners' consideration.
- **Progressive Reserve** (not summarized). If the Owners wished to offset the majority of forecasted capital expenditures over the next 30 years, an average CRF contribution of approximately \$845,000 per year (or an average of approximately \$820 per suite, per month) would be required.

TABLE 6.2 COMPARISON OF DIFFERENT FUNDING SCENARIOS			
	CURRENT (2024)	ALTERNATIVE #1	ALTERNATIVE #2
Annual CRF allocation	\$71,148	Starting at \$100,000+	Starting at \$200,000+
Annual CRF increase	0%	4%	5%
CRF contribution per average strata lot		Starting at	Starting at
Per month	\$69	\$97+	\$194+
Per year	\$827	\$1,163+	\$2,326+
Approximate number of special levies (over 30 years)	19	8	4
Approximate value of special levies (over 30 years)	\$22.8M	\$20M	\$14.8M
Minimum Closing Balance	\$50,000		
Assumed Inflation Rate	3%		
Assumed Interest Rate	2%		

The following sections of the Report provide more detailed information about each funding scenario, including a graph showing the closing balance of the CRF, annual CRF contributions, and the approximate value of special levies. Tables with 10 years of cash flow data are also provided.

Appendix E includes 30 years of cash flow data for each funding scenario.



6.3 Current (2024) Funding Scenario

The Current Funding Scenario is based on the CRF contribution approved by the Owners at the last AGM. The scenario is based on a fixed annual CRF contribution (no increases).

TABLE 6.3 CURRENT (2024) FUNDING SCENARIO: CASH FLOW TABLE						
FISCAL YEAR	OPENING BALANCE	RESERVE CONTRIBUTION	SPECIAL LEVY	RESERVE INCOME	RENEWAL COSTS	CLOSING BALANCE
2025	\$522,118	\$71,148	\$0	\$10,442	\$153,845	\$449,863
2026	\$449,863	\$71,148	\$0	\$8,997	\$181,715	\$348,294
2027	\$348,294	\$71,148	\$592,245	\$6,966	\$968,653	\$50,000
2028	\$50,000	\$71,148	\$0	\$1,000	\$11,200	\$110,948
2029	\$110,948	\$71,148	\$0	\$2,219	\$28,954	\$155,361
2030	\$155,361	\$71,148	\$0	\$3,107	\$169,013	\$60,603
2031	\$60,603	\$71,148	\$0	\$1,212	\$75,946	\$57,018
2032	\$57,018	\$71,148	\$139,243	\$1,140	\$218,549	\$50,000
2033	\$50,000	\$71,148	\$11,493	\$1,000	\$83,641	\$50,000
2034	\$50,000	\$71,148	\$0	\$1,000	\$28,365	\$93,783

The graph below shows the annual contribution to the CRF, the closing balance of the CRF, and the size of the special levies forecast for the next 30 years.

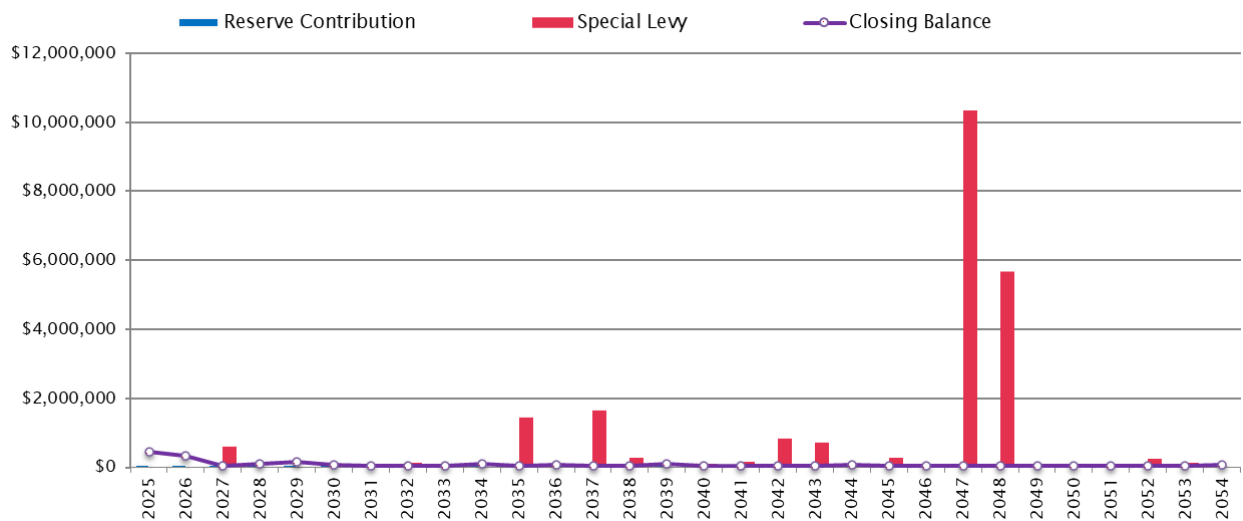


Figure 6.1 CRF balance, contribution, and special levies based on the Current funding.

6.4 Alternative Funding Scenario # 1

Alternative Funding Scenario #1 is based on an initial annual CRF contribution of \$100,000, with a 4% annual increase. The initial annual contribution is approximately a \$25,000 increase of the Current contribution.

TABLE 6.4 ALTERNATIVE FUNDING SCENARIO #1: CASH FLOW TABLE						
FISCAL YEAR	OPENING BALANCE	RESERVE CONTRIBUTION	SPECIAL LEVY	RESERVE INCOME	RENEWAL COSTS	CLOSING BALANCE
2025	\$522,118	\$100,000	\$0	\$10,442	\$153,845	\$478,715
2026	\$478,715	\$104,000	\$0	\$9,574	\$181,715	\$410,575
2027	\$410,575	\$108,160	\$491,706	\$8,211	\$968,653	\$50,000
2028	\$50,000	\$112,486	\$0	\$1,000	\$11,200	\$152,286
2029	\$152,286	\$116,986	\$0	\$3,046	\$28,954	\$243,364
2030	\$243,364	\$121,665	\$0	\$4,867	\$169,013	\$200,884
2031	\$200,884	\$126,532	\$0	\$4,018	\$75,946	\$255,488
2032	\$255,488	\$131,593	\$0	\$5,110	\$218,549	\$173,642
2033	\$173,642	\$136,857	\$0	\$3,473	\$83,641	\$230,331
2034	\$230,331	\$142,331	\$0	\$4,607	\$28,365	\$348,904

Alternative Funding Scenario #1 eliminates some of the smaller levies, but it is not adequate to offset all the special levies over the 30-year planning horizon. The graph below shows the annual contribution to the CRF, the closing balance of the CRF, and the size of the special levies forecast for the next 30 years.

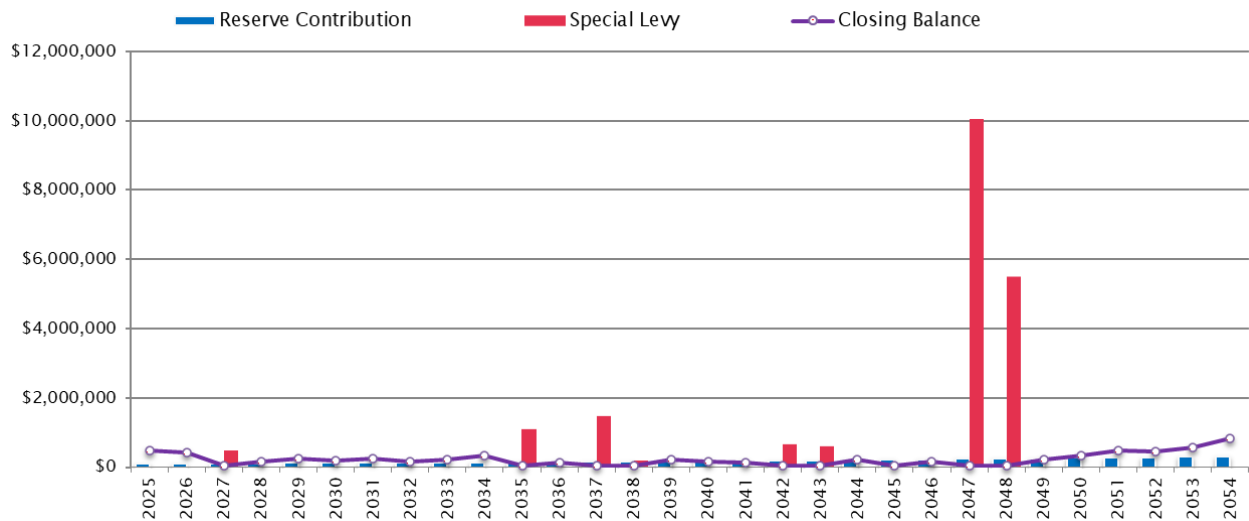


Figure 6.2 CRF balance, contribution, and special levies based on Alternative #1.

6.5 Alternative Funding Scenario #2

Alternative Funding Scenario #2 is based on an initial annual CRF contribution of \$200,000, with a 5% annual increase.

TABLE 6.5 ALTERNATIVE FUNDING SCENARIO #2: CASH FLOW TABLE						
FISCAL YEAR	OPENING BALANCE	RESERVE CONTRIBUTION	SPECIAL LEVY	RESERVE INCOME	RENEWAL COSTS	CLOSING BALANCE
2025	\$522,118	\$200,000	\$0	\$10,442	\$153,845	\$578,715
2026	\$578,715	\$210,000	\$0	\$11,574	\$181,715	\$618,575
2027	\$618,575	\$220,500	\$167,206	\$12,371	\$968,653	\$50,000
2028	\$50,000	\$231,525	\$0	\$1,000	\$11,200	\$271,325
2029	\$271,325	\$243,101	\$0	\$5,426	\$28,954	\$490,899
2030	\$490,899	\$255,256	\$0	\$9,818	\$169,013	\$586,960
2031	\$586,960	\$268,019	\$0	\$11,739	\$75,946	\$790,773
2032	\$790,773	\$281,420	\$0	\$15,815	\$218,549	\$869,460
2033	\$869,460	\$295,491	\$0	\$17,389	\$83,641	\$1,098,699
2034	\$1,098,699	\$310,266	\$0	\$21,974	\$28,365	\$1,402,574

Alternative Funding Scenario #2 eliminates most of the smaller levies, but it is not adequate to offset all the special levies over the 30-year planning horizon. The graph below shows the annual contribution to the CRF, the closing balance of the CRF, and the size of the special levies forecast for the next 30 years.

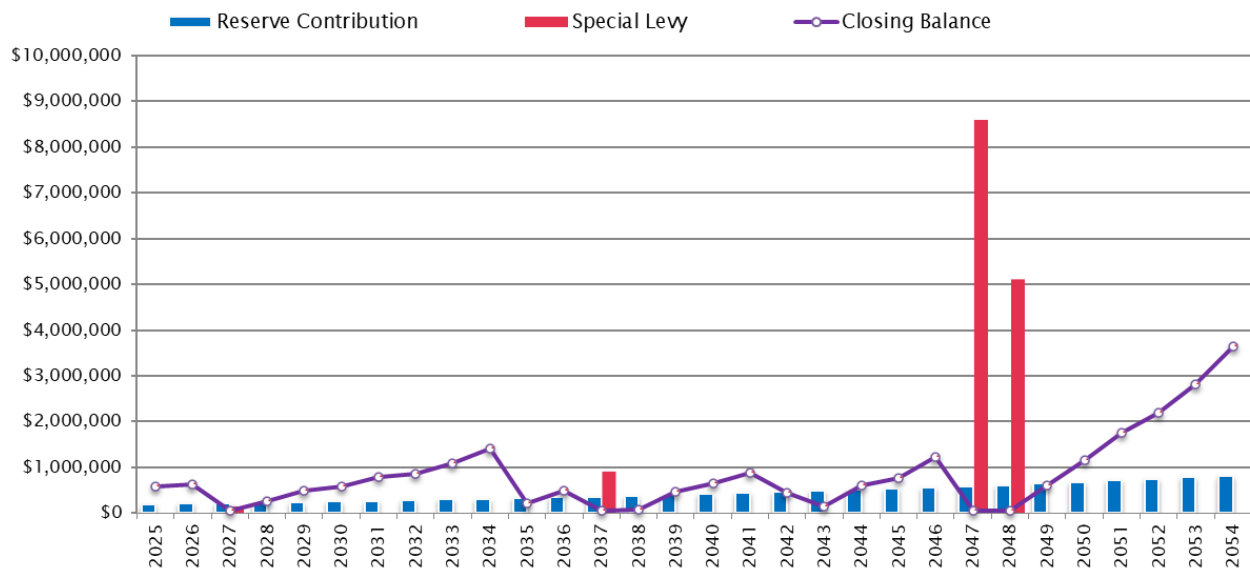


Figure 6.3 CRF balance, contribution, and special levies based on Alternative #2.

7 Next Steps

The Report identifies the possible Major Maintenance and Renewal expenditures that Coopers Pointe may encounter over the next 30 years. Estimated timelines have been provided to assist the Owners with the planning process; however, the Report should be considered a first step when planning for renewals. The funding scenarios have been developed to provide the Owners with an objective basis for determining appropriate CRF contributions.

Coopers Pointe is a 17-year-old building (as of 2024), and most expenditures that occur over the next 10 years relate to the major maintenance of the Assets, such as repainting of fiber cement cladding and sealant renewal. As this Report is limited to visual review, the Owners would benefit from completing an updated BECA to review the concealed physical conditions of the original Assets and refine the capital expenditure forecasts accordingly. The BECA may determine that the original building enclosure coatings and sealants may not require renewal until the next cycle of balcony and eyebrow membrane renewals.

In addition, Assets, such as fire safety equipment and elevators may also require renewal within the next 10 years. Similar to the building enclosure system, it is recommended that the Owners consider additional investigations of these systems to confirm renewal requirements, particularly for the life safety Assets, such as the fire safety equipment, and update the renewal forecast accordingly.

Other expenditures that occur over the next 10 years relate to cleaning and inspection of drainage and electrical equipment, as well as the cyclical renewal of aging and high-use mechanical equipment. The Owners should continue to be diligent in performing maintenance tasks so Assets may achieve their full service life. It is unlikely that the Owners can avoid special levies in this time period; however, there may be opportunities to reduce the scope of work needed or otherwise manage projects to alleviate the financial impact on individual Owners.

In preparation for future renewals, the Owners should continue to build up their CRF, while continuing to perform maintenance of several Assets. By continuing to save early for anticipated large expenditures, the Owners will benefit from accrued interest and financial preparedness, while minimizing the number of special levies.

The recommendations below are intended to aid the Owners in the next steps of the renewals planning process.

Recommendations

- **Project Planning.** Review the information in Section 5.2, and begin planning for significant projects, including commissioning condition assessments, requesting information, and preparing construction budgets, well in advance of the forecasted date of renewal. The planning process will assist the Owners in refining the actual timing, scope of work, and project budget.
- **Major Maintenance Planning.** Review Appendix B and C for a detailed checklist of forecasted Major Maintenance activities and Renewals on an annual basis.
- **Record Keeping.** Continue to record significant renewals, repairs, and maintenance activities. These records will be used to improve the forecast at the time of the next Depreciation Report Update.
- **Contingency Reserve Fund (CRF) Planning.** On a yearly basis, review and update the CRF funding strategy based on the estimated forecasts presented in the Report and update information obtained from assessments, investigations, and quotation.

- **Building Enclosure Condition Assessment (BECA).** Consider an update to the 2020 BECA prior to or in conjunction with the update to the Depreciation Report in five years' time. The BECA would refine the renewal timing of various Assets, such as the roof, podium membrane above the parkade, wall coatings, and sealants.
- **Further Investigations.** Conduct additional condition assessments/investigations, as required, to refine the data and confirm assumptions.
- **Updates.** Plan for an update to the Report in five years' time. On a yearly basis, the Owners should review and update their CRF funding strategy based on the estimated forecasts presented in the Report.

Yours truly,



Preston Wu | Dipl. T.
Building Science Technologist
pwu@rdh.com
RDH Building Science Inc.



Brandon Carreira | Dipl. T.
Associate, Project Manager
bcarreira@rdh.com
RDH Building Science Inc.



Reviewed by
Jason Dunn | B.Arch.Sc.
Principal, Senior Project Manager
RDH Building Science Inc.

Appendix A

Glossary of Terms

Glossary

Annual Contribution – Funds allocated to the Reserve Fund each fiscal year. Sometimes referred to as the Annual Allocation. Determining the appropriate size of the Annual Allocation is aided with a Reserve Study (a Depreciation Report in B.C.).

Asset – An integrated assembly of multiple physical components, which requires periodic maintenance, repair and eventual renewal. Typical examples of assets are: roofs, boilers and hallway carpets.

Catch-up Costs – The costs associated with the accumulated backlog of deferred maintenance associated with the assets.

Chronological Age – The age of an asset relative to its date of installation (current year minus year of installation).

Classes of Cost Estimates – Until a project is actually constructed, a cost estimate represents the best judgement of the professional according to their experience and knowledge and the information available at the time. Its completeness and accuracy is influenced by many factors, including the project status and development stage. Estimates have a limited life and are subject to inflation and fluctuating market conditions. The precision of cost estimating is categorized into the following four classes and are as defined in guidelines prepared by the Association of Professional Engineers and Geoscientists of B.C. The percentage figures in parentheses refer to the level of precision or reliability of the cost estimates.

- **Class A Estimate** ($\pm 10-15\%$): A detailed estimate based on quantity take-offs from final drawings and specifications. It is used to evaluate tenders or as a basis of cost control during day-labour construction.
- **Class B Estimate** ($\pm 15-25\%$): An estimate prepared after site investigations and studies have been completed, and the major systems defined. It is based on a project brief and preliminary design. It is used for obtaining effective project approval and for budgetary control.
- **Class C Estimate** ($\pm 25-40\%$): An estimate prepared with limited site information and based on probable conditions affecting the project. It represents the summation of all identifiable project elemental costs and is used for program planning, to establish a more specific definition of client needs and to obtain preliminary project approval.
- **Class D Estimate** ($\pm 50\%$): A preliminary estimate which, due to little or no site information, indicates the approximate magnitude of cost of the proposed project, based on the client's broad requirements. This overall cost estimate may be derived from lump sum or unit costs for a similar project. It may be used in developing long term capital plans and for preliminary discussion of proposed capital projects.

Closing Balance – Alternatively referred to as the Starting Balance. The balance of funds remaining in the reserve account at the end of a fiscal period (Fiscal year end, calendar year or study period). The Closing Balance becomes the Opening Balance for the subsequent fiscal period.

Contingency Costs – An allowance for unexpected or unforeseen costs that may impact monies required for projects to maintain or replace assets. (Not to be confused with costs of Renewal or Major Maintenance projects which are paid for out of the Reserve Fund (otherwise known the Contingency Reserve Fund.)

Contribution Threshold - A dollar value which dictates the size of the Contingency Reserve Fund (CRF) contribution based on whether the accumulated CRF balance is greater than or less than the specified dollar value. For example, the Strata Property Act indicates that if the closing balance of the CRF at the end of the fiscal year is less than 25% of the operating budget for the next fiscal year, then the CRF contribution for the next fiscal year should be a minimum of 10% of the operating budget. In this case, the threshold is 25% of the operating budget.

Current Dollars – Dollars in the year they were actually received or paid, unadjusted for price changes.

Effective Age – An assessment of the age of an asset relative to its condition and how that condition may have accelerated or decelerated the chronological age of the asset (service life minus remaining service life).

Funding Model – A mathematical model used to establish an appropriate funding level for sustaining the assets in a building. Running a number of scenarios out of the funding model using different parameters (such as inflation rates and interest rates) can serve as a sensitivity analysis to determine the financial impact of different funding levels.

Future Dollars – The projected cost of future asset renewal projects, which accounts for inflation and escalation factors.

Get Ahead Costs – These are costs associated with adaptation of the building to counter the forces of retirement associated with different forms of obsolescence, such as:

- Functional obsolescence
- Legal obsolescence
- Style obsolescence

Some of the costs in this category are discretionary spending that result in either a change or an improvement to the existing strata building. This category includes projects to alter the physical plant for changes in use, codes and standards. Some typical examples include:

- Energy retrofits
- Code retrofits
- Hazardous material abatement
- Barrier free access retrofits
- Seismic Upgrades

Keep-up Costs – The monies required for renewal projects as each asset reaches the end of its useful service life. If an asset is not replaced at the end of its useful service life

and is kept in operation, through targeted repairs, then these costs get reclassified into the “catch-up” category.

Major Maintenance – Any maintenance work for common expenses that usually occurs less often than once a year or that do not usually occur. Major maintenance provides for the preservation of assets to ensure that they achieve their full intended service life.

Next Renewal Year - The forecasted date of asset replacement or renewal.

Opening Balance – Alternatively referred to as the Starting Balance. The amount of money in an account at the beginning of a fiscal period. Opening balances are derived from the balance sheet and are used in cash flow calculations in the Funding Model.

Operating Costs – Frequently recurring expenses that arise during the course of a single fiscal year and are paid from the operating budget as opposed to the Reserve Fund.

Operational Plan/Horizon (1 year) – The annual operating period encompasses one fiscal cycle (12 months). The Reserve Contribution in the operating budget should reflect the majority of the projects in the Tactical Plan (5 years) and ideally should also contemplate elements of the Strategic Plan (30 years).

Percent Funded – The ratio, at a particular point of time (typically the beginning of the fiscal year), of the actual or projected Reserve Fund balance to the accrued Reserve Fund balance, expressed as a percentage. For example: If the 100% funded balance is \$100,000 and there is \$76,000 in the Reserve Fund, the Reserve Fund is 76% funded.

Since funds can typically be allocated from one asset to another with ease, this parameter has no real meaning on an individual reserve component basis. The purpose of this parameter is to identify the relative strength or weakness of the entire Reserve Fund at a particular point in time. The value of this parameter is to provide a more stable measure of Reserve Fund strength, since cash in reserve may mean very different things to different governing bodies or Owner groups.

- **Poor Level.** When the Percent Funded falls to 0% - 30%, the current reserves may be considered to be at a ‘poor’ level. At this funding level, Special Levies are common. This is also commonly known as the Unfunded or Special Levy Model. The Owner Group does not have a Reserve Fund balance that will cover expected renewal costs and the only recourse is to raise funds by Special Levies to cover those costs when they become due.
- **Fair Level.** If the Percent Funded level is 31 to 70% then the current reserve may be considered to be in a mid-range level.
- **Good Level.** If the Percent Funded level is 70% or higher this is likely to be considered ‘strong’ because cash flow problems are rare.

Renewal – The replacement of an Asset as it reaches the end of its useful service life.

Renewal Cost – The cost required to replace an Asset, which is paid from the Reserve Fund, Special Levy or combination thereof.

Reserve Contribution – See Annual Contribution.

Reserve Fund – Also known as the Contingency Reserve Fund (CRF). The account in which the accumulated Annual Contributions are deposited and from which costs are withdrawn for Renewal projects and Major Maintenance projects.

Reserve Income – The interest earned from investing the money deposited in the Reserve Fund.

Reserve Study – Also referred to as a Reserve Fund Study or Depreciation Report in BC.

- A long-range financial planning tool that identifies the current status of the Owners' Reserve Fund and recommends a stable and equitable funding plan to offset the costs of anticipated future major expenditures associated with replacement of the assets and major maintenance.
- The purpose of the Reserve Study is to provide a plan for appropriate funding for renewal and major maintenance work.
- While Reserve Studies provide analysis of the timing, costs and funding for renewal projects, they should ideally be supported by a maintenance plan that assists the Owners to plan for maintenance activities so that assets achieve their predicted service lives.

Service Life - The estimated period of time over which an asset (and its components or assembly) provides adequate performance and function.

Special Levy – Also referred to as a "Special Assessment". A financial levy to be paid by the Owner group to finance large-scale projects for major maintenance, repairs, renewal and rehabilitation of an asset, which occur as result of a shortfall in available funds and requires special decision making and approval procedures. A Reserve Study contains funding scenarios that assist the Owners in long-range financial planning.

Statutory Funding Model - A funding model which uses the Strata Property Act and Regulations to determine the minimum amount of money to contribute to the Contingency Reserve Fund on an annual basis.

Strategic Horizon – The longest of the three planning horizons, which typically covers the full study period of 30 years and identifies the long-term needs of the assets.

Style Obsolescence – When an asset is no longer desirable because it has fallen out of popular fashion, its style is obsolete. Some assets, particularly interior furnishings, reflect fashion cycles and can become out-dated.

Tactical Plan/Horizon – A period of planning for asset Renewal projects and Major Maintenance projects, which typically extends five years from the current year.

Appendix B

Asset Inventory



Enclosure



Encl 01 – Protected SBS Membrane Roof with Ballast

Location

Mechanical level roof at north and south elevations.

Description

SBS membrane overlaid with insulation and stone ballast.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace roof membrane assembly and associated components, such as drains and flashing. Ballast may be salvagable.	2037	30 (1)	\$22,050	\$22,050	\$31,438



Encl 02 – Protected Waterproofing Membrane Podium with Landscaping

Location

Podium above parkade.

Description

Waterproofing membrane overlaid with combination of drainage mat, pavers and landscaping overburden.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace waterproofing podium membrane assembly and associated components. Some of the pavers and overburden may be salvagable.	2047	40 (1)	\$640,000	\$640,000	\$1,226,306
R02	Complete localized crack injections within the parkade, as required.	2025	3 (10)	\$5,000	\$50,000	\$77,599



Encl 03 – Protected Waterproofing Membrane Roof Deck with Traffic-Bearing Surface

Location

Decks throughout the building.

Description

SBS membrane overlaid with pavers as traffic-bearing surface. The renewal of this asset is phased.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037



Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace remaining 50% roof deck membrane assembly and associated components. Some of the pavers may be salvagable.	2038	30 (1)	\$133,560	\$133,560	\$196,137
R02	Replace 50% roof deck membrane assembly and associated components. Some of the pavers may be salvagable.	2037	30 (1)	\$133,560	\$133,560	\$190,425



Encl 04 – Sheet Metal Roof - Concealed Fasteners

Location

Main sloped roofs of building.

Description

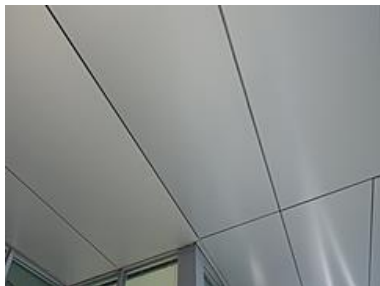
Pre-finished sheet steel panels with concealed fasteners and trough gutters, complete with underlayment applied over sheathing at sloped roof.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace metal roof assemblies and associated components such as gutters and flashings.	2047	40 (1)	\$322,000	\$322,000	\$616,985
R02	Replace urethane membrane gutters.	2025	22 (1)	\$2,000	\$2,000	\$2,000



Encl 05 – Prefinished Metal Clad Soffit

Location

Underside of metal roofs.

Description

Prefinished metal cladding over supporting structure.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace metal panel soffit and associated components as required.	2047	40 (1)	\$50,400	\$50,400	\$96,572



Encl 06 – Anchor Fall Protection Equipment

Location

Roof and deck level.

Information

Service Life 50
Chronological Age 17

Description

Safety anchoring system for work on exterior walls and roofs.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace components of fall protection system, as required.	2047	50 (1)	\$28,350	\$28,350	\$54,322



Encl 07 – Glazed Aluminum Frame Divider

Location

Various locations at balconies and decks throughout the building.

Information

Service Life 30
Chronological Age 17

Description

Aluminum frame and glass infill panels functioning as a 6' high privacy barrier between balconies and decks.

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace glazed aluminum frame dividers.	2037	30 (1)	\$13,388	\$13,388	\$19,087



Encl 08 – Glazed Aluminum Guardrail

Location

Balconies, decks and roofs throughout the building.

Information

Service Life 30
Chronological Age 17

Description

Aluminum Posts and glass infill panels functioning as a protective barrier at the open sides of stairs, landings, balconies, decks, raised walkways or other locations to prevent accidental falls from one level to another.

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace remaining 50% exterior guardrails.	2038	30 (1)	\$75,000	\$75,000	\$110,140
R02	Replace 50% exterior guardrails.	2037	30 (1)	\$75,000	\$75,000	\$106,932



Encl 09 – Composite Metal Panel Wall

Location

Northwest section of the building exterior walls, and adjacent to the main building entrance.

Description

Metal panel system with integral framing and anchorage to create drainage cavity over sheathing membrane.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R02	Replace metal panels along with associated flashing and sealants. Consideration should be given to replacement of vent hoods and other accessories that penetrated the cladding at the time of cladding replacement.	2047	40 (1)	\$216,000	\$216,000	\$413,878



Encl 10 – Profiled Sheet Metal Cladding Wall

Location

Roof level.

Description

Prefinished steel cladding fastened with framing and anchorage system, exposed/concealed fasteners, to create drainage over sheathing membrane.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace sheet metal cladding along with associated flashing and sealants. Consideration should be given to replacement of vent hoods and other accessories that penetrated the cladding at the time of cladding replacement.	2047	40 (1)	\$38,115	\$38,115	\$73,032



Encl 11 – Fibre-Cement Cladding

Location

All elevations of building, excluding northwest corner.

Information

Service Life 40
Chronological Age 17

Description

An exterior insulated rainscreen assembly with mechanically attached fibre cement panel.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace remaining 50% fibre cement panels along with associated flashing and sealants. Consideration should be given to replacement of vent hoods and other accessories that penetrate the cladding.	2048	40 (1)	\$724,500	\$724,500	\$1,429,863
R02	Replace 50% fibre-cement panels along with associated flashing and sealants. Consideration should be given to replacement of vent hoods and other accessories that penetrate the cladding.	2047	40 (1)	\$724,500	\$724,500	\$1,388,217
R03	Repaint fibre-cement cladding.	2027	20 (2)	\$368,000	\$736,000	\$1,095,537



Encl 12 – Curtain Wall

Location

Entrance to building.

Information

Service Life 40
Chronological Age 17

Description

Curtain wall with double insulating glazing units.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	2025	2 (11)	\$1,375	\$15,125	\$20,684
R03	Replace or refurbish curtain wall assembly.	2047	40 (1)	\$60,500	\$60,500	\$115,924



Encl 13 – Aluminum Framed Window

Location

All elevations throughout the building.

Description

Aluminum framed, thermally broken windows with double insulating glazing units, with casement and awning operators. Windows are arranged in either to three configurations - punched window, strip windows or window-wall all based on the same window system.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	2025	2 (15)	\$3,000	\$45,000	\$70,308
R01	Replace remaining 50% aluminum framed windows and associated components.	2048	40 (1)	\$1,868,750	\$1,868,750	\$3,688,140
R02	Replace 50% aluminum framed windows and associated components.	2047	40 (1)	\$1,868,750	\$1,868,750	\$3,580,718



Encl 14 – Aluminum Framed Sliding Glass Door

Location

Various balcony and deck access throughout the building.

Description

Sliding glass doors, double insulating glazing units, aluminum framing.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace remaining 50% sliding glass doors and associated components.	2048	40 (1)	\$288,750	\$288,750	\$569,873
R02	Replace 50% sliding glass doors and associated components.	2047	40 (1)	\$288,750	\$288,750	\$553,275



Encl 16 – Metal Clad Swing Door

Location

Townhouse unit entry doors, exit and roof access doors throughout the building.

Information

Service Life 40
Chronological Age 17

Description

Metal clad wood swing door with and without insulating glazing units.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace metal clad swing doors.	2047	40 (1)	\$17,000	\$17,000	\$32,574
R02	Repaint metal clad swing doors.	2027	20 (1)	\$3,000	\$3,000	\$3,183



Encl 17 – Exposed Urethane Balcony & Eyebrow Membrane - Concrete Substrate

Location

Balconies and eyebrows throughout the building.

Information

Service Life 25
Chronological Age 4

Description

Liquid applied urethane membrane applied over concrete balconies and eyebrows.

Installation Year 2020
Next Event Year 2045

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Repair locally damaged and delaminated balcony membrane prior to re-application of top coat.	2030	10 (2)	\$11,617	\$23,234	\$31,566
R01	Prepare and re-apply membrane top coat.	2030	10 (3)	\$86,900	\$260,700	\$437,403
R02	Replace urethane balcony and eyebrow membranes.	2045	25 (1)	\$189,600	\$189,600	\$342,439



Encl 18 – Architectural Concrete Arbour

Location

North and West elevations at the Roof level.

Information

Service Life 25
Chronological Age 17

Description

Concrete arbour coated with liquid applied urethane membrane.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Prepare and re-apply membrane top coat.	2030	10 (3)	\$18,150	\$54,450	\$87,320
R02	Replace Exposed Urethane Membrane and associated components.	2032	25 (1)	\$13,200	\$13,200	\$16,234



Encl 19 – Metal Frame and Glass Canopy

Location

Above the main entrance to building.

Information

Service Life 40
Chronological Age 17

Description

Canopy constructed with metal framing and single glazing.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Repaint exposed metal frame of canopy assemblies.	2027	20 (2)	\$1,000	\$2,000	\$2,977
R02	Replace remaining 50% metal and glass canopy assembly.	2048	40 (1)	\$16,800	\$16,800	\$33,156
R03	Replace 50% metal and glass canopy assembly.	2047	40 (1)	\$16,800	\$16,800	\$32,191



Encl 20 – Open-grid Overhead Parkade Gate

Location

Entrance to parkade.

Information

Service Life 25
Chronological Age 17

Description

Pre-finished metal grid overhead gate for underground parkade.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replacement of sectional overhead door and associated hardware.	2032	25 (1)	\$20,000	\$20,000	\$24,597



Encl 21 – Parking Slab with Traffic-bearing Membrane

Location

Parkade level P1 to P2.

Information

Service Life 75
Chronological Age 17

Description

Traffic-bearing membrane on concrete parking garage floor slab. We understand that localized membrane repairs were completed in 2023.

Installation Year 2007
Next Event Year 2082

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Re-apply traffic demarcation striping and directional signage as required. Frequency will depend on traffic volume and other factors.	2028	5 (6)	\$1,050	\$6,300	\$10,282
J02	Repair damaged and delaminated membrane prior to re-application of top coat.	2033	10 (3)	\$15,552	\$46,656	\$81,759
R01	Re-apply membrane top coat in high traffic areas.	2033	10 (3)	\$42,525	\$127,575	\$223,559
R04	Prepare concrete surface and re-apply traffic-bearing membrane. Frequency will depend on traffic volume and other factors.	2043	25 (1)	\$388,800	\$388,800	\$661,906
R07	Concrete slab is durable and not deemed a renewable asset. Maintenance of the concrete substrate is required for the asset to achieve longevity.	2082	75 (0)	\$0	\$0	\$0
R08	Complete targeted parkade membrane repairs and concrete crack repairs, as required.	2026	3 (10)	\$10,000	\$100,000	\$158,539



Encl 22 – Slab-on-Grade

Location

Parkade level P3.

Information

Service Life 75
Chronological Age 17

Description

Concrete slab on grade.

Installation Year 2007
Next Event Year 2082

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Re-apply traffic demarcation striping and directional signage. Frequency will depend on traffic volume and other factors.	2026	5 (6)	\$1,050	\$6,300	\$9,691
R02	Concrete slab is durable and not deemed a renewable asset. Maintenance of the concrete substrate is required for the asset to achieve longevity.	2082	75 (0)	\$0	\$0	\$0



Encl 23 – General & Inspections

Location

All elevations and all levels of the building.

Information

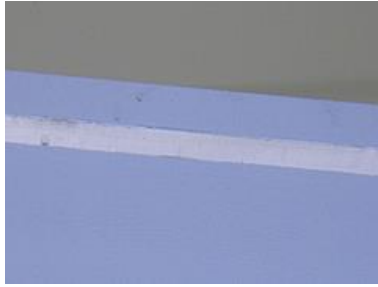
Service Life 75
Chronological Age 17

Description

Miscellaneous interior and exterior components, such as service penetrations and interface details, not related to any particular assembly. Warranty and general reviews.

Installation Year 2007
Next Event Year 2082

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Review metal flashing at all location and touch-up paint as required.	2025	3 (10)	\$0	\$0	\$0
J03	Update depreciation report.	2030	5 (5)	\$0	\$0	\$0
J04	Perform full condition assessment of all enclosure systems.	2026	5 (6)	\$12,000	\$72,000	\$110,759
R01	This is not a renewable asset.	2082	75 (0)	\$0	\$0	\$0



Encl 24 – Sealant

Location

Interfaces and service penetrations at the exterior walls, roofs, and other locations.

Information

Service Life 10
Chronological Age 17

Description

Sealant of various types located at joints between building enclosure assemblies, as well as around components and penetrations within building enclosure assemblies.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace sealants at interfaces between building enclosure assemblies, and at penetrations through assemblies in accordance with sealant renewals plan.	2027	10 (3)	\$134,000	\$402,000	\$589,970

Electrical



Elec 01 – Emergency Generator

Location

Generator room on parkade level P2.

Information

Service Life 35
Chronological Age 17

Description

Detroit Diesel, model: 300DSEB, 300kW generator with steel fuel tank for standby AC power to certain critical fixtures and appliances, such as fire fire fighters elevator, fire pump, certain interior light fixtures.

Installation Year 2007
Next Event Year 2042

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace generator battery packs.	2027	4 (7)	\$0	\$0	\$0
R02	Replace generator hoses, as required.	2027	10 (3)	\$0	\$0	\$0
R03	Rebuild emergency generator.	2027	20 (2)	\$15,000	\$30,000	\$44,655
R04	Replace emergency generator.	2042	35 (1)	\$130,000	\$130,000	\$214,870



Elec 02 – Tank - Fuel Oil Storage

Location

Generator room on parkade level P2.

Information

Service Life 15
Chronological Age 17

Description

Galvanized steel single wall fuel storage tank with secondary containment in building, connected to genset.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replacement of oil storage tank (and enclosure), as required.	2027	15 (2)	\$8,000	\$16,000	\$21,710



Elec 03 – Distribution Transformer - Interior

Location

Elevator machine room.

Information

Service Life 40
Chronological Age 17

Description

Hammond Power Solutions Inc., 27 KVA, 3 phase, dry-type, with Nema enclosure, coil and vibration isolators that provide power to receptacles and low voltage loads.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	2026	5 (6)	\$0	\$0	\$0
J02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	2026	5 (6)	\$0	\$0	\$0
J03	Check for tightness of electrical connections.	2026	5 (6)	\$0	\$0	\$0
J04	Tighten bolted connections.	2026	5 (6)	\$0	\$0	\$0
R02	Cyclical replacement of distribution transformers, as required.	2047	40 (1)	\$21,000	\$21,000	\$40,238



Elec 04 – Unit Substation

Location

Electrical room on parkade level P1.

Description

Square D, 1000 KVA, 12.47 KV/120/208 V, 3 phase, dry type transformer; main breaker, load break switches and metering compartments contained within dual radial unit substation to provide primary electrical service.

Information

Service Life 35
Chronological Age 17

Installation Year 2007
Next Event Year 2042

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Lubricate all moving contacts.	2026	5 (6)	\$0	\$0	\$0
J02	Perform mechanical tests in accordance with manufacturer guidelines to verify mechanical integrity of unit substation equipment and main secondary disconnects (e.g. check switches for correct operation and alignment; megger and verify equipment phase colours; inspect candles for damage or cracking, oil leakage and oil level for oil circuit breakers).	2026	5 (6)	\$0	\$0	\$0
J03	Calibrate electrical relays to match documented (or utility company) settings.	2026	5 (6)	\$0	\$0	\$0
J04	Prior to cleaning verify nameplate information; check insulator chips, cracks and tracking; inspect lightning arrestors and visually inspect contacts and bus.	2026	5 (6)	\$0	\$0	\$0
J05	Verify that unit substation grounding network is adequate to ensure safety during work and while equipment is in operation.	2026	5 (6)	\$0	\$0	\$0
J06	Check tightness and torque all electrical connections. To be coordinated with 5-year system shutdown and cleaning.	2026	5 (6)	\$0	\$0	\$0
R01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	2026	3 (10)	\$5,000	\$50,000	\$79,269
R02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	2026	6 (5)	\$2,000	\$10,000	\$15,151
R03	Replace unit substation equipment.	2042	35 (1)	\$200,000	\$200,000	\$330,570



Elec 05 – Electrical Distribution

Location

Emergency distribution room in parkade on level P1.

Description

Square D, 600 A, 208/120 V, 3 phase switchgear units; downstream switchboards, panel boards, breakers, switches, disconnects and wiring to mechanical, lighting and power loads throughout the building and to individual suites through BC Hydro owned metering devices.

Information

Service Life 40
Chronological Age 17

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	2026	2 (15)	\$0	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	2026	2 (15)	\$0	\$0	\$0
R01	Conduct infrared thermography and ultrasonic scanning tests on all switchgear, distribution panels, cable and bus connections, and other critical equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated prior to planned maintenance to identify areas that require immediate attention. Tests should be conducted on energized equipment during peak demand periods if possible.	2026	6 (5)	\$3,150	\$15,750	\$23,863
R02	Cyclical replacement of components of the electrical distribution equipment, as required.	2047	40 (1)	\$60,000	\$60,000	\$114,966



Elec 06 – Exterior Light Fixtures

Location

Mounted to walls, soffits and throughout landscaping.

Description

A variety of fixture types, including wall, pole and post mounted, street, pathway and recessed soffit pot lighting for exterior direct, indirect and accent lighting applications. A variety of light fixture controls, including switches, motion sensors, timers and photocells. It is our understanding that a complete LED bulb upgrade was completed circa 2020.

Information

Service Life 20
 Chronological Age 17

Installation Year 2007
 Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	2026	6 (5)	\$0	\$0	\$0
R02	Cyclical group replacement of lamps in exterior lighting fixtures. A set of lamps is replaced at a scheduled time.	2026	3 (10)	\$0	\$0	\$0
R03	Cyclical cleaning of exterior light fixtures. Use cleaning agents suited to fixture type.	2026	10 (3)	\$0	\$0	\$0
R04	Cyclical replacement of electronic ballasts.	2026	10 (3)	\$0	\$0	\$0
R05	Replace exterior light fixtures, as required, for aesthetic purposes, to match ballast replacement cycles, or technological obsolescence.	2027	20 (2)	\$15,000	\$30,000	\$44,655
R06	Replace garden lighting, as required.	2025	(1)	\$20,000	\$20,000	\$20,000



Elec 07 – Interior Light Fixtures

Location

Mounted to walls and ceilings throughout all common areas and service rooms.

Description

A variety of fixture types, including fixed surface pendant, track and sconce and recessed pot. A variety of lamp types, including fluorescent, compact fluorescent, halogen, incandescent, LED, etc. for interior direct, indirect and accent lighting applications. A variety of light fixture controls, including switches, motion sensors, timers, dimmers and photocells. It is our understanding that a complete LED bulb upgrade was completed circa 2020.

Information

Service Life 20
Chronological Age 17

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical group replacement of lamps in interior lighting fixtures. A set of lamps are replaced at a scheduled time.	2026	3 (10)	\$0	\$0	\$0
R02	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	2026	6 (5)	\$0	\$0	\$0
R03	Cyclical cleaning of interior light fixtures. Use cleaning agents suited to fixture type.	2026	10 (3)	\$0	\$0	\$0
R04	Cyclical replacement of electronic ballasts.	2026	10 (3)	\$0	\$0	\$0
R05	Replace interior light fixtures, as required, for aesthetic purposes, to match ballast replacement cycles, or technological obsolescence.	2027	20 (2)	\$25,000	\$50,000	\$74,425



Elec 08 – Enterphone System

Location

Entrances to building and parkade.

Description

Sentex Systems, surface mounted, enterphone panels with associated key pads and display panels.

Information

Service Life 25
Chronological Age 17

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace enterphone panels, excluding field wiring.	2032	25 (1)	\$12,600	\$12,600	\$15,496



Elec 09 – Proximity Access Control

Location

Lobbies, parking garage, elevators, and common area entrances.

Description

Local proximity access control system components include fob/card devices for building occupants, fob/card readers, RTE sensors/buttons, electric strikes and door controllers. Network level components include door control panel, communication boards, backup batteries, RTE board, conduit, cable and connectors.

Information

Service Life 12
Chronological Age 17

Installation Year 2007
Next Event Year 2025

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace media in recording device to maintain continuous records from proximity access control devices. Retain records in secure archive for period determined by policy.	2030	6 (5)	\$0	\$0	\$0
R02	Modernize components of the proximity access control system, excluding field wiring, as required by technological obsolescence.	2025	12 (3)	\$36,120	\$108,360	\$161,043



Elec 10 – Security Surveillance

Location

Mounted to walls and ceilings throughout building.

Description

Cameras, multiplexer, monitors and storage media to deter and track activity on and within building premises. It is our understanding that some cameras were replaced circa 2020, and that a partial system upgrade including a DVR, select cameras, computers, and monitors was completed in 2023.

Information

Service Life 14
Chronological Age 1

Installation Year 2023
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Service the multiplex unit, update software as required.	2028	5 (6)	\$0	\$0	\$0
R02	Modernize components of the security surveillance system, excluding field wiring, as required by technological obsolescence.	2037	14 (2)	\$25,200	\$50,400	\$90,275



Mechanical



Mech 01 – Controls - Electronic Actuators

Location

Mechanical rooms throughout the building.

Description

Electronic motor-driven control devices on valves, dampers etc. to control heating, air-conditioning, domestic hot water system and boilers etc.

Information

Service Life 10
Chronological Age 11

Installation Year 2013
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of electronic actuator controls, as required.	2026	10 (3)	\$1,050	\$3,150	\$4,488



Mech 02 – Controls - Variable Frequency Drives

Location

Parkade levels P1 to P3.

Description

Danfoss/Graham (model: VLT 6000 C24), solid state devices used to modulate fans and pumps flows in mechanical systems, to save energy by modulating flow rates.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace variable frequency drives.	2026	15 (2)	\$21,000	\$42,000	\$55,329



Mech 03 – Controls - Direct Digital

Location

Penthouse mechanical room.

Information

Service Life 15
Chronological Age 8

Description

DDC panels to control heating, air-conditioning, domestic hot water system and boilers etc. It is our understanding that the DDC panel was upgraded in approximately 2016.

Installation Year 2016
Next Event Year 2031

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of sensors and other field devices, as required.	2026	3 (10)	\$0	\$0	\$0
R02	Replace DDC controllers.	2031	15 (2)	\$10,500	\$21,000	\$32,071



Mech 04 – Controls - HVAC Instrumentation

Location

Mounted to walls in common areas and equipment service rooms.

Information

Service Life 20
Chronological Age 17

Description

Nortron, thermostats, programmable thermostats, flow gauges, thermometers, metering equipment, gauges, and other field devices to monitor and regulate pressure and temperature in the HVAC and plumbing distribution systems.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of miscellaneous HVAC instrumentation, as required.	2027	3 (10)	\$525	\$5,250	\$8,573



Mech 05 – Gas Detection - Parking Garage

Location

Mounted to columns throughout parking garage.

Description

Critical Environment Technologies, model: SCS-SMCO-J, electronic sensing devices for detection of dangerous gases, carbon monoxide (CO) and propane produced by vehicles and to activate the exhaust fans accordingly.

Information

Service Life 10
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of gas detection sensors.	2026	5 (6)	\$2,835	\$17,010	\$26,167



Mech 06 – Heat Tracing - Freeze Protection

Location

Throughout the parkade.

Description

DigiTrace, 910 Series, heat trace controller for piping systems exposed to freezing (self regulating heater cable with parallel circuit heater strip and outer thermoplastic elastomer jacket); UL listed for pipe freeze protection on fire sprinkler system.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of components of electric heat tracing cable, including control module and pipe insulation.	2026	5 (6)	\$5,250	\$31,500	\$48,457



Mech 07 – Piping - Gas Distribution

Location

Throughout the building.

Information

Service Life 50
Chronological Age 17

Description

Gas distribution system, piping from meter to appliance. Piping inside suite is not Strata owned.

Installation Year 2007
Next Event Year 2057

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of fittings and valves, as required.	2057	20 (0)	\$22,565	\$0	\$0



Mech 08 – Drainage - Perimeter and Foundation

Location

Perimeter of parkade.

Information

Service Life 40
Chronological Age 17

Description

Perforated PVC piping forming part of a sub-surface foundation perimeter drainage system around perimeter of building and underground structures.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Repair and/replace components of perimeter drainage system, as required.	2047	40 (1)	\$79,800	\$79,800	\$152,905



Mech 09 – Tank - DHW - Small Domestic Electric

Location

Water entry room on parkade level P1.

Information

Service Life 8
Chronological Age 3

Description

AO Smith (model: DEL30110), 6000W electric domestic hot water tank for return hot water heating.

Installation Year 2021
Next Event Year 2029

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace electric hot water reheat tank.	2029	8 (4)	\$1,200	\$4,800	\$7,974



Mech 10 – Tank - DHW - Small Domestic Electric

Location

Penthouse mechanical room.

Description

Space Saver (model: SS30LSEB), 3000W, electric domestic hot water tank for small domestic service.

Information

Service Life 8
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace of electric hot water reheat tank.	2026	8 (4)	\$1,200	\$4,800	\$7,298



Mech 11 – Tank - DHW - Storage and DHW Heating

Location

Penthouse mechanical room.

Description

A.O. Smith, 119 gallon tanks, glass-lined hot water storage tanks connected to domestic heat exchanger system. One replaced in 2013.

Information

Service Life 8
Chronological Age 14

Installation Year 2010
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Dismantle, inspect and clean tube bundle on immersion heating tanks.	2029	5 (6)	\$0	\$0	\$0
J02	Replace anode rods in hot water heaters.	2029	5 (6)	\$0	\$0	\$0
R01	Cyclical replacement of domestic hot water storage tanks.	2026	8 (4)	\$9,449	\$37,796	\$57,463



Mech 12 – Pump - DHW - Circulation and Recirculation

Location

Penthouse and parkade mechanical room.

Description

Armstrong and AO Smith, fractional HP, pipe-mounted bronze body domestic hot water circulation pumps. Circulating hot water from boilers to tanks and recirculating hot water from system. We understand that select pumps have been replaced circa 2020.

Information

Service Life 10
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Inspect brushes and remove brush dust from motor.	2026	2 (15)	\$0	\$0	\$0
R01	Cyclical replacement of recirculating pumps, as required.	2026	8 (4)	\$1,890	\$7,560	\$11,494



Mech 13 – Pumps - Storm Lift and Control Panel

Location

Parkade level P3 by stall 124.

Description

Myers, Duplex, 7.5HP, storm sump pumps and control panels for storm water runoff and sub-surface drainage.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2025

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Coat exposed shaft of impeller with anti-seize compound.	2030	2 (13)	\$0	\$0	\$0
R01	Overhaul storm sump pumps.	2030	5 (5)	\$2,000	\$10,000	\$15,922
R02	Cyclic replacement of sump pump storm lift and control panels.	2025	15 (2)	\$8,000	\$16,000	\$20,464



Mech 14 – Drainage - Sanitary

Location

Connected to waste fixtures throughout the building.

Information

Service Life 50
Chronological Age 17

Description

Cast iron DWV piping, with mechanical joints, p-traps, and fittings. Drainage is cleaned on a regular basis (horizontal annual and vertical every two years).

Installation Year 2007
Next Event Year 2057

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Insert video cameras into main lines to conduct pipe inspection.	2026	2 (15)	\$0	\$0	\$0
J02	Auger and clean drain lines.	2026	2 (15)	\$4,200	\$63,000	\$101,385
R01	Repair components of sanitary drainage distribution system, as required.	2057	50 (0)	\$31,500	\$0	\$0



Mech 15 – Pumps - Sanitary Lift and Control Panel

Location

Parkade level P3 by stall 124.

Information

Service Life 15
Chronological Age 17

Description

Myers, duplex, 5HP, sanitary sump pumps and control panels for sanitary lift/drainage.

Installation Year 2007
Next Event Year 2025

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Coat exposed shaft of impeller with anti-seize compound.	2030	2 (13)	\$0	\$0	\$0
R01	Overhaul sanitary sump pumps.	2030	5 (5)	\$2,100	\$10,500	\$16,718
R02	Cyclical replacement of sump pumps.	2025	15 (2)	\$8,400	\$16,800	\$21,487



Mech 16 – Drainage - Storm - Internal

Location

Throughout the site.

Information

Service Life 40
Chronological Age 17

Description

Trench drains, catch basins and associated piping systems for rainwater runoff. Roof drains may be included with the roof assets.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Repair and/replace components of storm water drainage distribution system, as required.	2047	40 (1)	\$42,000	\$42,000	\$80,476
R02	Auger and clean drain lines.	2025	2 (15)	\$2,000	\$30,000	\$46,872



Mech 17 – Piping - Domestic Water Distribution

Location

Connected to supply fixtures throughout.

Information

Service Life 28
Chronological Age 17

Description

Mixture of K and L copper for vertical/horizontal mains system and PEX piping within the suites.

Installation Year 2007
Next Event Year 2035

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Check that pipe hangars are properly fastened.	2026	5 (6)	\$0	\$0	\$0
J02	Check piping and supports for mechanical damage, proper clearance, adequate insulation, and labeling.	2026	5 (6)	\$0	\$0	\$0
J03	Check integrity of all soldered pipe connections and couplings.	2026	5 (6)	\$0	\$0	\$0
J04	Comprehensive third party testing and inspection of the copper domestic water distribution system.	2030	(1)	\$14,000	\$14,000	\$16,230
R01	Replace components of domestic plumbing distribution system, including domestic valves.	2035	28 (1)	\$1,115,625	\$1,115,625	\$1,499,307



Mech 18 – Pump - Domestic Water Booster

Location

Water entry room on parkade level P1.

Description

Armstrong (model: 6524 Hydropak), triplex system motor control system, to supply constant boosted pressure to fixtures and equipment on all levels. Note: the service life of this assembly can be extended by the cyclical renewal of components within the assembly, such as pump rebuilds and control panel upgrades. The posted inspection records indicated that maintenance is required.

Information

Service Life 14
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Inspect brushes and remove brush dust from motor.	2025	2 (15)	\$0	\$0	\$0
R01	Replace motor bearings, pump bearings and seals. Inspect mounts and housing, repair as required.	2025	7 (5)	\$1,650	\$8,250	\$13,020
R02	Replace domestic booster pumps and motor control panel.	2026	14 (3)	\$10,500	\$31,500	\$51,918



Mech 19 – Tank - Expansion -DHW - Diaphragm

Location

Penthouse mechanical room.

Description

Armstrong, floor mounted diaphragm expansion tank for domestic water system. An expansion tank in the rooftop mechanical room was replaced in 2024.

Information

Service Life 20
Chronological Age 17

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of hot water expansion tanks, as required.	2027	20 (2)	\$10,000	\$20,000	\$29,770
R02	Cyclical replacement of hot water expansion tanks, as required.	2044	20 (1)	\$5,000	\$5,000	\$8,768



Mech 20 – Valves - Cross Connection & Backflow Prevention

Location

Water entry room on parkade level P1.

Description

Various types and sizes of backflow prevention valves, including vacuum breakers, double check, reduced pressure valves on systems.

Information

Service Life 20
 Chronological Age 17

Installation Year 2007
 Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of cross connection & back flow prevention valves, as required.	2027	20 (2)	\$6,300	\$12,600	\$18,755



Mech 21 – Valves - Plumbing Flow Control and Directional

Location

Water entry room on parkade level P1.

Description

Various types and sizes of valves, including pressure reducing valves, isolation valves, two-way and three way valves, circuit flow control valves and check valves to regulate the flow of water through domestic plumbing systems. The posted inspection records indicated that maintenance is required.

Information

Service Life 20
 Chronological Age 17

Installation Year 2007
 Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Valve Maintenance.	2025	5 (6)	\$6,300	\$37,800	\$56,455
R02	Cyclical replacement of valves, as required.	2027	20 (2)	\$6,000	\$12,000	\$17,862



Mech 22 – Condensate Accumulator/Cooler

Location

Penthouse mechanical room.

Description

Steam condensate accumulator with cooling cycle for dump to drain.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Test and replace thermostat and water solenoid.	2026	2 (15)	\$0	\$0	\$0
R02	Replace Steam Condensate Meter [^] and associated component.	2026	15 (2)	\$6,000	\$12,000	\$15,808



Mech 23 – Condensing Unit - Outdoor - Split System A/C

Location

Roof level.

Description

Condensing units serving ductless split system for air conditioning to penthouse suites. Units are not owned by the strata corporation.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replacement of components of split system AC for individual suites.		15 (0)	\$0	\$0	\$0



Mech 24 – Fan Coil Unit

Location

Roof level.

Information

Service Life 15
Chronological Age 17

Description

Fan coil units on a ducted system for air conditioning; matched condensing units on roof. Units are not owned by the strata corporation.

Installation Year 2007
Next Event Year

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclic replacement of split system AC unit fan coils.		15 (0)	\$0	\$0	\$0



Mech 25 – Heat Pump Condensing Unit - Outdoor Section

Location

Parkade level P1 by visitor parking.

Information

Service Life 15
Chronological Age 17

Description

Aeon heat pump outdoor units, serving ceiling mounted heat pump indoor units for forced air conditioning and heating.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of components of condensing units on split system AC.	2026	15 (2)	\$9,000	\$18,000	\$23,712



Mech 26 – Heat Pump - Indoor Section - Air-to-air

Location

Behind concierge desk and meeting room closet on level 1 and fitness room closet on level 2.

Description

Aaon, vertical mounted, heat pump indoor fan coil units, comprising direct expansion air-side coil, and blower/filter section. The compressor for the gym air conditioner was replaced in 2024.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of heat pumps.	2026	15 (2)	\$12,000	\$24,000	\$31,616



Mech 27 – Steam Bucket Trap

Location

Penthouse mechanical room.

Description

Steam trap.

Information

Service Life 20
Chronological Age 17

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclic replacement of steam bucket trap, as required.	2027	20 (2)	\$2,000	\$4,000	\$5,954



Mech 28 – Heat Exchanger - Shell & Tube - District Steam to Hot Water

Location

Penthouse mechanical room.

Description

Armstrong, shell and tube heat exchangers to separate district steam heating system from building main hot water heating loop. It is our understanding that the heat exchanger gaskets were replaced in 2024.

Information

Service Life 25
Chronological Age 17

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Clean exchangers subject to fouling removing scale, sludge deposits, etc.	2026	5 (6)	\$525	\$3,150	\$4,846
J02	If the heat exchanger is equipped with sacrificial anodes or plates, replace these as required.	2026	5 (6)	\$0	\$0	\$0
R01	Cyclic replacement of shell and tube heat exchanger, as required.	2032	20 (2)	\$33,600	\$67,200	\$115,959



Mech 29 – Piping - Steam

Location

In the parkade and mechanical room.

Description

Steam supply and condensate return system downstream of pressure reducing valve, consisting of insulated steel piping with stainless steel jacket.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of valves, fittings, piping, and trim, as required.	2037	20 (1)	\$26,250	\$26,250	\$37,426



Mech 30 – Baseboard - Electric

Location

Common areas throughout the building.

Information

Service Life 40
Chronological Age 17

Description

Standard grade, wall mounted, electric convector baseboard heaters with electrical fins for localized space heating and integral thermostat control.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of electric baseboard heaters, as required.	2047	40 (1)	\$11,813	\$11,813	\$22,634



Mech 31 – Make Up Air Unit - Indoor - Hydronic

Location

Penthouse mechanical room.

Information

Service Life 25
Chronological Age 17

Description

McQuay (model: CAH0176CGHAC), 8000 CFM, belt-driven, centrifugal fan with hot water heating coil, to supply tempered make-up air to the interior spaces.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Motor mount - Inspect for damage, cracks or corrosion.	2026	2 (15)	\$0	\$0	\$0
R01	Cyclical replacement of pulleys and motors and vibration isolation, as required.	2026	8 (4)	\$0	\$0	\$0
R02	Cyclical rebuild or replacement of make-up air units.	2032	15 (2)	\$30,000	\$60,000	\$94,379



Mech 32 – Exhaust Fan - Small Service - Cabinet

Location

Service rooms and storage rooms throughout the building.

Information

Service Life 12
Chronological Age 17

Description

Penn, direct drive fans, ceiling and cabinet fans, and centrifugal inline blower fans.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of failed or damaged general purpose exhaust fans, as required.	2026	5 (6)	\$1,575	\$9,450	\$14,537



Mech 33 – Exhaust Fan Parkade - Inline

Location

Various strategic locations throughout the parking garage.

Information

Service Life 20
Chronological Age 17

Description

Twin City, 7.5hp, axial centrifugal fan suspended from structure.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of motors, fan blades and bearings on supply and exhaust fans, as required.	2026	3 (10)	\$0	\$0	\$0
R02	Rebuild of supply and exhaust fans, as required.	2027	20 (2)	\$21,000	\$42,000	\$62,517



Mech 34 – Indoor Air handler - Fan Coil Unit - AC

Location

Parkade level P1.

Information

Service Life 15
Chronological Age 17

Description

Skymark, direct expansion air-conditioning, ceiling suspended FC/CU combination fan coil and condensing unit with ducted system for air conditioning cooling of P1 transformer room.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace split system AC units.	2026	15 (2)	\$20,000	\$40,000	\$52,694



Mech 35 – Overhead Gate Motor

Location

Entrance to parkade.

Description

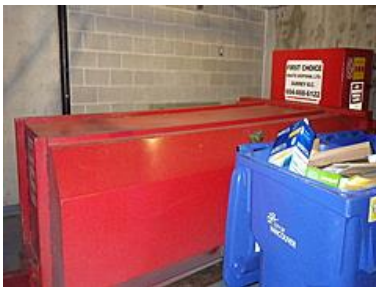
Elite, fractional HP AC motor and commercial-grade overhead sectional door controlled by an electric operator.

Information

Service Life 20
Chronological Age 17

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace overhead door motors and operators, as required.	2027	20 (2)	\$9,000	\$18,000	\$26,793



Mech 36 – Trash Compactor

Location

Parkade on level P1.

Description

Horizontal hydraulic ram compactor.

Information

Service Life 20
Chronological Age 17

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace hydraulic pumps.	2026	10 (3)	\$0	\$0	\$0
R02	Replace compactor hoses.	2026	10 (3)	\$0	\$0	\$0
R03	Replace trash compactor.	2027	20 (2)	\$15,750	\$31,500	\$46,888



Elevator



Elev 01 – Traction Elevators, Overhead Sidemount Gearless

Location

Elevator machine room at roof level.

Description

Richmond Elevator gearless overhead sidemount traction elevators with MCE iControl Microprocessor controls, Torqmax VVVF drive system, Imperial KDS gearless machines, 2000lbs(23356)/2500lbs(23355), 500 fpm contract speed.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Check and test the overload devices.	2026	2 (15)	\$0	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	2026	2 (15)	\$0	\$0	\$0
J03	Conduct full load performance test.	2026	2 (15)	\$0	\$0	\$0
R01	Replace elevator hoist ropes, as required. Confirm with elevator maintenance contractor or through a condition assessment.	2027	15 (2)	\$0	\$0	\$0
R02	Replace elevator controls and drive, as required. Confirm with elevator maintenance contractor or through a condition assessment.	2027	20 (2)	\$0	\$0	\$0
R03	Refurbish elevator gearless machines, replace controls and drive systems.	2037	30 (1)	\$400,000	\$400,000	\$570,304



Elev 02 – Elevator Cabs & Hoistway

Location

Elevator cab and travelling hoistway.

Description

Single speed side opening doors, stainless-steel car and hall pushbuttons, one (1) car operating panel (stainless steel), infrared door protection, ECI-2000 door operators, stainless steel doors, ceiling, and front return, mirrors on side walls, glass on rear wall, tile flooring, firefighter's emergency operation, standby power provisions, hands-free voice communication device, seismic provisions.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace elevator operating and signal fixtures, replace door operator, upgrade cab interior (to be completed in conjunction with asset 1).	2037	30 (1)	\$168,000	\$168,000	\$239,528
R02	Replace door operator, as required	2025	15 (2)	\$60,000	\$120,000	\$153,478

Fire Safety



Fire 01 – Fire Alarm Panel - Addressable

Location

Lobby.

Description

GE EST 3 microprocessor, addressable, supervised unit with graphic annunciator and LCD display.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Replace battery packs for fire alarm control panels.	2026	5 (6)	\$0	\$0	\$0
R01	Replace battery packs.	2026	5 (6)	\$0	\$0	\$0
R02	Replace fire alarm annunciator panels and control panel, excluding field wiring and field devices.	2037	30 (1)	\$65,000	\$65,000	\$92,674



Fire 02 – Fire Detection & Alarm

Location

Throughout the building.

Information

Service Life 20
Chronological Age 17

Description

Smoke detectors, heat detectors, flow switches, tamper switches, horns, pull stations and other fixed apparatus field devices to detect fire and smoke conditions and initiate timely response.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of speakers, heat detectors, smoke detectors and related modules, excluding field wiring.	2027	20 (2)	\$107,289	\$214,578	\$319,400



Fire 03 – Fire Hose Cabinet

Location

Various locations at townhouse hallway on level 1 and parkade.

Information

Service Life 20
Chronological Age 17

Description

Fire hose cabinet, wall mounted with swinging glass door, complete with angle valve, fire hose, and wrench

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace fire hoses.	2027	40 (1)	\$10,500	\$10,500	\$11,139



Fire 04 – Dry Sprinkler Compressor

Location

Water entry room on parkade level P1.

Description

Swan, compressor with 0.75 HP Baldor motor to maintain the pressure of air in the dry fire sprinkler lines.

Information

Service Life 14
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace fire sprinkler compressor.	2026	14 (3)	\$5,000	\$15,000	\$24,723



Fire 05 – Fire & Jockey Pump

Location

Water entry room on parkade level P1.

Description

Motor control centre connected to 50 HP fire pump and 1/2 HP jockey pump, which work in tandem to supply water flow and pressure to the sprinkler system and standpipe system.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Conduct flow test.	2026	5 (6)	\$0	\$0	\$0
R01	Replace jockey pump.	2026	12 (3)	\$0	\$0	\$0
R02	Rebuild fire pump.	2026	15 (2)	\$0	\$0	\$0
R03	Replace fire pump and motor control centre.	2037	30 (1)	\$35,350	\$35,350	\$50,401



Fire 06 – Portable Fire Extinguisher

Location

Mounted to walls in various strategic locations throughout the building.

Information

Service Life 24
Chronological Age 17

Description

Wall mounted, manually operated, 5lbs and 10lbs ABC type, pressurized vessels for controlled discharge of chemicals to extinguish small fires.

Installation Year 2007
Next Event Year 2031

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Conduct hydrotest on fire extinguishers.	2026	12 (3)	\$0	\$0	\$0
R01	Cyclical replacement of fire extinguishers.	2031	12 (2)	\$6,720	\$13,440	\$19,464



Fire 07 – Sprinkler & Standpipe - Wet

Location

Throughout heated areas of the building.

Information

Service Life 100
Chronological Age 17

Description

Fast response sprinkler heads, flow switches and indicating devices, gauges, and steel distribution lines.

Installation Year 2007
Next Event Year 2107

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	2026	5 (6)	\$0	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	2026	5 (6)	\$0	\$0	\$0
R01	Phased replacement of sprinkler zone control valves, as required.	2026	20 (2)	\$0	\$0	\$0
R02	Renew compromised portions of piping, gaskets, connections, valves, devices and trim to maintain required function.	2026	5 (6)	\$10,770	\$64,620	\$99,406
R03	Replace all heads, or submit representative sample of heads for testing by a recognized testing, to the satisfaction of the authority having jurisdiction, in accordance with NFPA 25.	2057	10 (0)	\$34,464	\$0	\$0
R04	Replace entire system including risers, branch piping, valves, heads, swaybracing, and all related trim, back to Sprinkler Room.	2107	100 (0)	\$113,085	\$0	\$0



Fire 08 – Sprinkler System - Dry

Location

Throughout the parking garage; all unheated spaces of the building.

Information

Service Life 60
Chronological Age 17

Description

Exposed dry sprinklers, upright and sidewall sprinkler heads, steel piping.

Installation Year 2007
Next Event Year 2067

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	2026	5 (6)	\$0	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	2026	5 (6)	\$0	\$0	\$0
R01	Replace all heads, or submit representative sample of heads for testing by recognized testing agency at the 50th anniversary, to the satisfaction of the authority having jurisdiction, in accordance with NFPA 25.	2057	10 (0)	\$18,810	\$0	\$0
R02	Replace damaged sprinkler heads, hangers and leaking gaskets, cages, sway-braces, drains, etc. as required.	2026	5 (6)	\$1,003	\$6,019	\$9,259
R03	Replace entire system including risers, branch piping, valves, heads, swaybracing, and all related trim, back to Sprinkler Room.	2067	60 (0)	\$65,835	\$0	\$0



Fire 09 – Sprinkler Valve Assembly - Dry

Location

Water entry room on parkade level P1.

Information

Service Life 40
Chronological Age 17

Description

FireLock dry sprinkler valves, trim and gauges, steel piping.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Phased replacement of sprinkler zone control valves, as required.	2027	20 (2)	\$0	\$0	\$0
R02	Replace gaskets in dry sprinkler valves.	2027	20 (2)	\$0	\$0	\$0
R03	Rebuild dry sprinkler valves.	2027	20 (2)	\$0	\$0	\$0
R04	Replace sprinkler valves, as required.	2047	40 (1)	\$9,000	\$9,000	\$17,245



Fire 10 – Emergency Egress Equipment

Location

Mounted to walls and ceilings throughout the building.

Information

Service Life 20
Chronological Age 17

Description

Exit lights and emergency lighting equipment to facilitate evacuation from the interior of the building in the event of an emergency.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of batteries and lamps in DC battery packs.	2026	5 (6)	\$0	\$0	\$0
R02	Cyclical replacement of LED exit signs.	2027	15 (2)	\$22,500	\$45,000	\$61,059

Interior Finishes



Finish 01 – Painted Concrete Flooring

Location

Exit hallway on level 2 and service rooms in parkade.

Information

Service Life 75
Chronological Age 17

Description

Exposed concrete floors, painted in some locations to provide a cleaner finish. This flooring asset does not include the concrete slab, which is not considered to be a renewable asset.

Installation Year 2007
Next Event Year 2082

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Repaint concrete flooring in service rooms, as required. Repaint faded stair tread safety markings.	2027	10 (3)	\$1,785	\$5,355	\$7,859
R02	Concrete floor is durable and not deemed a renewable asset. Maintenance of the concrete substrate is required for the asset to achieve longevity.	2082	75 (0)	\$0	\$0	\$0



Finish 02 – Floor Tile

Location

Lobby.

Information

Service Life 40
Chronological Age 17

Description

Floor tile on thin set mortar with grout.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Renew porcelain tile floor.	2047	40 (1)	\$13,420	\$13,420	\$25,714



Finish 03 – Resilient Sheet Flooring

Location

Fitness room on level 2 and elevator vestibules on parkade levels.

Information

Service Life 20
Chronological Age 17

Description

Vinyl tile or vinyl sheet adhered to the substrate.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace resilient flooring.	2027	20 (2)	\$25,200	\$50,400	\$75,020



Finish 04 – Carpet

Location

Amenity room and hallways throughout the building.

Information

Service Life 15
Chronological Age 17

Description

Synthetic, low level loop, textile sheet floor covering glued over floor substrate.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Renew carpet.	2027	15 (2)	\$27,720	\$55,440	\$75,225



Finish 05 – Rubber Gym Flooring

Location

Fitness room.

Information

Service Life 20
Chronological Age 4

Description

Rubber shock absorbing floor tiles loose-laid.

Installation Year 2020
Next Event Year 2040

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace rubber gym flooring.	2040	20 (1)	\$8,500	\$8,500	\$13,243



Finish 06 – Mirror

Location

Wall in fitness room.

Information

Service Life 25
Chronological Age 17

Description

Mirrored glass with structural fasteners to the substrate.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace mirrored wall, as required.	2032	25 (1)	\$4,500	\$4,500	\$5,534



Finish 07 – Glazed Aluminum Frame Partition

Location

Parkade vestibules on levels P1 to P3.

Information

Service Life 40
Chronological Age 17

Description

Tempered glass set in finished metal frame as demising wall between interior spaces.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace glazed aluminum frame partition assembly.	2047	40 (1)	\$2,700	\$2,700	\$5,173



Finish 08 – Wood Paneling

Location

Lobby.

Information

Service Life 25
Chronological Age 17

Description

Decorative wood paneling; solid or wood veneer on substrate sheathing and structural framing.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace wood paneling.	2032	25 (1)	\$8,000	\$8,000	\$9,839



Finish 09 – Ceramic Tile

Location

Walls around elevators on ground level.

Information

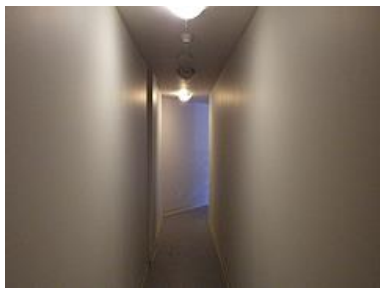
Service Life 25
Chronological Age 17

Description

Ceramic tile on mortar bed and substrate with grout and sealant at interfaces.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace grout and sealant at wall tile, as required.	2027	10 (3)	\$1,344	\$4,032	\$6,633
R02	Replace ceramic wall tiles.	2032	25 (1)	\$4,800	\$4,800	\$5,903



Finish 10 – Paint

Location

Amenity, fitness room and hallway on level 2.

Information

Service Life 10
Chronological Age 17

Description

Primers and multiple pigmented coating finishes applied to interior gypsum wallboard.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Repaint interior wall in high traffic area, as required.	2032	10 (3)	\$22,000	\$66,000	\$112,288
R02	Repaint wall surface including preparation of substrate.	2027	10 (3)	\$33,000	\$99,000	\$145,291



Finish 11 – Wallpaper Covering

Location

Hallways throughout building, excluding hallway on level 2.

Information

Service Life 15
Chronological Age 17

Description

Decorative wallpaper sheet covering adhered to substrate sheathing.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace wall paper covering at affected walls.	2027	15 (2)	\$34,760	\$69,520	\$94,330



Finish 12 – Carpentry and Millwork

Location

Meeting room adjacent to the lobby.

Information

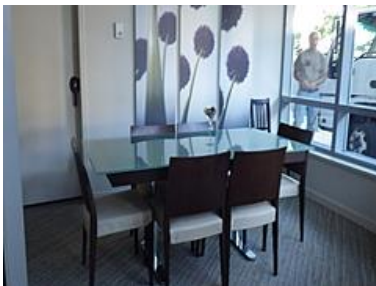
Service Life 30
Chronological Age 17

Description

Shop fabricated custom casework, built-in countertops with laminate, composite or stone surface, wood veneer or composite cabinets.

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace damaged components of carpentry and millwork, as required.	2037	30 (1)	\$1,000	\$1,000	\$1,426



Finish 13 – General Housekeeping

Location

Common areas throughout the building.

Information

Service Life 10
Chronological Age 17

Description

Cleaning and care of miscellaneous brightwork, millwork, flooring glass and other interior finishes. Includes housekeeping equipment.

Installation Year 2007
Next Event Year 2027

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Update and replace cleaning equipment, as required.	2027	10 (3)	\$3,000	\$9,000	\$13,208



Finish 14 – Interior Swing Door - General

Location

Entrance to suites, amenity and service rooms throughout the building.

Description

Hollow metal swing door hung in framed opening including hardware.

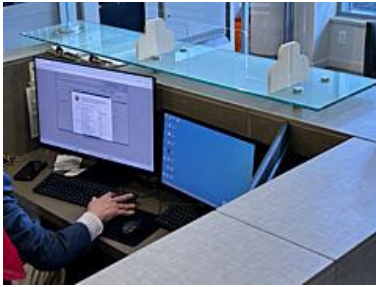
Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace interior swing door as required.	2037	30 (1)	\$21,630	\$21,630	\$30,839

Amenities



Amen 01 – Computer Equipments

Location

Concierge desk.

Description

Computer, monitor, printer, keyboard and associated electronic devices required for general operations and management of the facility. We understand that the computers and monitors were upgraded circa 2023.

Information

Service Life 6
Chronological Age 1

Installation Year 2023
Next Event Year 2029

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace components of electronic equipment as required.	2029	6 (5)	\$3,150	\$15,750	\$26,076



Amen 02 – Domestic Appliances

Location

Meeting room adjacent to the lobby.

Information

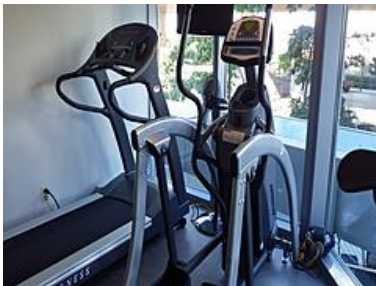
Service Life 15
Chronological Age 17

Description

Refrigerator, microwave oven, coffee maker, dishwasher of miscellaneous brands.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace domestic appliances.	2026	15 (2)	\$1,575	\$3,150	\$4,150



Amen 03 – Fitness Equipments

Location

Fitness room on level 2.

Information

Service Life 15
Chronological Age 17

Description

Various fitness machines and equipment.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace components of fitness equipment, as required.	2026	15 (2)	\$3,150	\$6,300	\$8,299



Amen 04 – Wood Storage Locker

Location

Storage rooms throughout the parkade.

Information

Service Life 30
Chronological Age 17

Description

Wood framed general purpose storage locker with swing door and hardware.

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Reconstruct wood storage lockers, as required.	2037	30 (1)	\$2,100	\$2,100	\$2,994



Amen 05 – Furniture & Accessories

Location

Lobby and meeting room adjacent to the lobby.

Description

Wood and metal furniture with fabric or leather covering, paintings, ornaments, and other miscellaneous accessories. Outdoor furnishings and insuite furnishings are included separately.

Information

Service Life 15
Chronological Age 17

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace furnishings in common areas, as required.	2026	15 (2)	\$5,000	\$10,000	\$13,174



Amen 06 – Bicycle Rack

Location

Front of site and bicycle storage in parkade.

Description

Floor or wall mounted, steel or wood frame bicycle rack.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace bicycle racks, as required.	2037	30 (1)	\$3,000	\$3,000	\$4,277



Amen 07 – Central Mailboxes

Location

Lobby.

Description

Flush or surface mounted, front or rear loading, brushed aluminum finish, extruded aluminum trim.

Information

Service Life 30
Chronological Age 17

Installation Year 2007
Next Event Year 2037

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace central mail boxes as required.	2037	30 (1)	\$8,000	\$8,000	\$11,406



Amen 08 – Office Furniture

Location

Lobby.

Information

Service Life 15
Chronological Age 17

Description

Desk, chairs, filing cabinet, etc.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace Office furniture and associated components, as required.	2026	15 (2)	\$2,000	\$4,000	\$5,269



Amen 09 – Public Signage

Location

Mounted to equipment, doors and other locations throughout the building.

Information

Service Life 25
Chronological Age 17

Description

Variety of permanently displayed information placards in the common areas of the building.

Installation Year 2007
Next Event Year 2032

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace damaged and outdated signage, as required.	2032	25 (1)	\$3,000	\$3,000	\$3,690



Amen 10 – Audio Visual Equipment

Location

Fitness room on level 2.

Information

Service Life 10
Chronological Age 17

Description

Televisions and other miscellaneous equipment.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement and upgrade of components of audiovisual equipment, excluding field wiring, as required.	2026	10 (3)	\$2,000	\$6,000	\$8,549



Sitework



Site 01 – Site Guardrails

Location

Perimeter of patios and various locations throughout the site.

Information

Service Life 40
Chronological Age 17

Description

Rail and pickets, metal fence with prefinished posts; gates with hardware.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Replace gate hardware.	2026	10 (3)	\$0	\$0	\$0
R02	Replace metal fencing.	2047	40 (1)	\$32,918	\$32,918	\$63,073



Site 02 – Concrete Unit Paving

Location

Patios throughout the building.

Information

Service Life 40
Chronological Age 17

Description

Precast concrete unit pavers with curbs, combination of chip seal joint filler and jointing sand, bedding sand, and onto compacted gravel base.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Rebuild sections of interlocking paving, including sub-grade, as required.	2047	40 (1)	\$3,120	\$3,120	\$5,978



Site 03 – Interlocking Unit Paving

Location

Various locations throughout the site.

Information

Service Life 40
Chronological Age 17

Description

Precast concrete unit pavers [with, without] curbs, combination of chip seal joint filler and jointing sand, bedding sand, and onto compacted gravel base.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R02	Rebuild sections of interlocking paving, including sub-grade, as required.	2047	40 (1)	\$3,279	\$3,279	\$6,282



Site 04 – Concrete Retaining Wall

Location

Entrance to parkade and various locations throughout the site.

Information

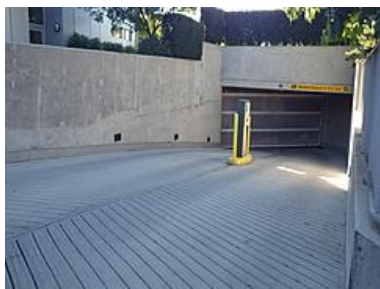
Service Life 40
Chronological Age 17

Description

Cast-in-place concrete retaining wall.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Reconstruct sections of concrete retaining walls as required.	2047	40 (1)	\$4,180	\$4,180	\$8,009



Site 05 – Concrete Paving

Location

Entrance to parkade and walkways throughout the site.

Information

Service Life 40
Chronological Age 17

Description

Concrete pavement, cast with control and construction joints, onto compacted gravel base.

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R02	Replace sections of concrete paving, as required.	2047	40 (1)	\$6,090	\$6,090	\$11,669



Site 06 – Outdoor Furniture

Location

Throughout the site.

Information

Service Life 10
Chronological Age 17

Description

Miscellaneous outdoor furniture such as benches and tables.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R02	Replace outdoor furniture, as required.	2026	10 (3)	\$1,000	\$3,000	\$4,275



Site 07 – Irrigation System

Location

Water entry room on parkade level 1.

Information

Service Life 15
Chronological Age 17

Description

Controller with time clock, network of pipes, valves, and irrigation heads distributed around the soft landscaping.

Installation Year 2007
Next Event Year 2026

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Cyclical replacement of components of irrigation sprinkler system, as required.	2026	15 (2)	\$5,250	\$10,500	\$13,832



Site 09 – Soft Landscaping

Location

Throughout the site.

Information

Service Life 15
Chronological Age 17

Description

Lawn, ground cover, shrubs, perennials and small trees (up to 30').

Installation Year 2007
Next Event Year 2047

Ref	Maintenance Description	Next Event	Frequency (30 Year Count)	Current Cost	30 Year Current Cost	30 Year Future Cost
R01	Renovate sections of the soft landscaping, as required.	2047	15 (1)	\$5,400	\$5,400	\$10,347

Appendix C

10-Year Tactical Plan



Year 2025

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 02 - Protected Waterproofing Membrane Podium with Landscaping						
R02	Complete localized crack injections within the parkade, as required.	Renew Component	3	2025	\$5,000	\$5,000
Encl 04 - Sheet Metal Roof - Concealed Fasteners						
R02	Replace urethane membrane gutters.	Renew Component	22	2025	\$2,000	\$2,000
Encl 12 - Curtain Wall						
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Renew Component	2	2025	\$1,375	\$1,375
Encl 13 - Aluminum Framed Window						
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Maintenance	2	2025	\$3,000	\$3,000
Encl 23 - General & Inspections						
J01	Review metal flashing at all location and touch-up paint as required.	Maintenance	3	2025	\$0	\$0

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 06 - Exterior Light Fixtures						
R06	Replace garden lighting, as required.	Renew Component	0	2025	\$20,000	\$20,000
Elec 09 - Proximity Access Control						
R02	Modernize components of the proximity access control system, excluding field wiring, as required by technological obsolescence.	Renew Assembly	12	2025	\$36,120	\$36,120

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 13 - Pumps - Storm Lift and Control Panel						
R02	Cyclic replacement of sump pump storm lift and control panels.	Renew Assembly	15	2025	\$8,000	\$8,000
Mech 15 - Pumps - Sanitary Lift and Control Panel						
R02	Cyclical replacement of sump pumps.	Renew Assembly	15	2025	\$8,400	\$8,400
Mech 16 - Drainage - Storm - Internal						
R02	Auger and clean drain lines.	Maintenance	2	2025	\$2,000	\$2,000
Mech 18 - Pump - Domestic Water Booster						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2025	\$0	\$0
R01	Replace motor bearings, pump bearings and seals. Inspect mounts and housing, repair as required.	Renew Component	7	2025	\$1,650	\$1,650
Mech 21 - Valves - Plumbing Flow Control and Directional						
R01	Valve Maintenance.	Renew Component	5	2025	\$6,300	\$6,300



Elevator

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 02 - Elevator Cabs & Hoistway						
R02	Replace door operator, as required	Renew Component	15	2025	\$60,000	\$60,000

Year 2026

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 21 - Parking Slab with Traffic-bearing Membrane						
R08	Complete targeted parkade membrane repairs and concrete crack repairs, as required.	Renew Component	3	2026	\$10,000	\$10,300
Encl 22 - Slab-on-Grade						
J01	Re-apply traffic demarcation striping and directional signage. Frequency will depend on traffic volume and other factors.	Maintenance	5	2026	\$1,050	\$1,082
Encl 23 - General & Inspections						
J04	Perform full condition assessment of all enclosure systems.	Assessment	5	2026	\$12,000	\$12,360

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 03 - Distribution Transformer - Interior						
J01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	Maintenance	5	2026	\$0	\$0
J02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	Maintenance	5	2026	\$0	\$0
J03	Check for tightness of electrical connections.	Maintenance	5	2026	\$0	\$0
J04	Tighten bolted connections.	Maintenance	5	2026	\$0	\$0



Elec 04 - Unit Substation						
J01	Lubricate all moving contacts.	Maintenance	5	2026	\$0	\$0
J02	Perform mechanical tests in accordance with manufacturer guidelines to verify mechanical integrity of unit substation equipment and main secondary disconnects (e.g. check switches for correct operation and alignment; megger and verify equipment phase colours; inspect candles for damage or cracking, oil leakage and oil level for oil circuit breakers).	Maintenance	5	2026	\$0	\$0
J03	Calibrate electrical relays to match documented (or utility company) settings.	Maintenance	5	2026	\$0	\$0
J04	Prior to cleaning verify nameplate information; check insulator chips, cracks and tracking; inspect lightning arrestors and visually inspect contacts and bus.	Maintenance	5	2026	\$0	\$0
J05	Verify that unit substation grounding network is adequate to ensure safety during work and while equipment is in operation.	Maintenance	5	2026	\$0	\$0
J06	Check tightness and torque all electrical connections. To be coordinated with 5-year system shutdown and cleaning.	Maintenance	5	2026	\$0	\$0
R01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	Renew Component	3	2026	\$5,000	\$5,150
R02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	Renew Component	6	2026	\$2,000	\$2,060



Elec 05 - Electrical Distribution						
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	Maintenance	2	2026	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	Maintenance	2	2026	\$0	\$0
R01	Conduct infrared thermography and ultrasonic scanning tests on all switchgear, distribution panels, cable and bus connections, and other critical equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated prior to planned maintenance to identify areas that require immediate attention. Tests should be conducted on energized equipment during peak demand periods if possible.	Renew Component	6	2026	\$3,150	\$3,245
Elec 06 - Exterior Light Fixtures						
R01	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	Renew Component	6	2026	\$0	\$0
R02	Cyclical group replacement of lamps in exterior lighting fixtures. A set of lamps is replaced at a scheduled time.	Renew Component	3	2026	\$0	\$0
R03	Cyclical cleaning of exterior light fixtures. Use cleaning agents suited to fixture type.	Renew Component	10	2026	\$0	\$0
R04	Cyclical replacement of electronic ballasts.	Renew Component	10	2026	\$0	\$0
Elec 07 - Interior Light Fixtures						
R01	Cyclical group replacement of lamps in interior lighting fixtures. A set of lamps are replaced at a scheduled time.	Renew Component	3	2026	\$0	\$0
R02	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	Renew Component	6	2026	\$0	\$0
R03	Cyclical cleaning of interior light fixtures. Use cleaning agents suited to fixture type.	Renew Component	10	2026	\$0	\$0
R04	Cyclical replacement of electronic ballasts.	Renew Component	10	2026	\$0	\$0



Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 01 - Controls - Electronic Actuators						
R01	Cyclical replacement of electronic actuator controls, as required.	Renew Assembly	10	2026	\$1,050	\$1,082
Mech 02 - Controls - Variable Frequency Drives						
R01	Replace variable frequency drives.	Renew Assembly	15	2026	\$21,000	\$21,630
Mech 03 - Controls - Direct Digital						
R01	Cyclical replacement of sensors and other field devices, as required.	Renew Component	3	2026	\$0	\$0
Mech 05 - Gas Detection - Parking Garage						
R01	Cyclical replacement of gas detection sensors.	Renew Assembly	5	2026	\$2,835	\$2,920
Mech 06 - Heat Tracing - Freeze Protection						
R01	Cyclical replacement of components of electric heat tracing cable, including control module and pipe insulation.	Renew Assembly	5	2026	\$5,250	\$5,408
Mech 10 - Tank - DHW - Small Domestic Electric						
R01	Replace of electric hot water reheat tank.	Renew Assembly	8	2026	\$1,200	\$1,236
Mech 11 - Tank - DHW - Storage and DHW Heating						
R01	Cyclical replacement of domestic hot water storage tanks.	Renew Assembly	8	2026	\$9,449	\$9,733
Mech 12 - Pump - DHW - Circulation and Recirculation						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2026	\$0	\$0
R01	Cyclical replacement of recirculating pumps, as required.	Renew Assembly	8	2026	\$1,890	\$1,947
Mech 14 - Drainage - Sanitary						
J01	Insert video cameras into main lines to conduct pipe inspection.	Maintenance	2	2026	\$0	\$0
J02	Auger and clean drain lines.	Maintenance	2	2026	\$4,200	\$4,326
Mech 17 - Piping - Domestic Water Distribution						
J01	Check that pipe hangars are properly fastened.	Maintenance	5	2026	\$0	\$0
J02	Check piping and supports for mechanical damage, proper clearance, adequate insulation, and labeling.	Maintenance	5	2026	\$0	\$0
J03	Check integrity of all soldered pipe connections and couplings.	Maintenance	5	2026	\$0	\$0
Mech 18 - Pump - Domestic Water Booster						
R02	Replace domestic booster pumps and motor control panel.	Renew Assembly	14	2026	\$10,500	\$10,815
Mech 22 - Condensate Accumulator/Cooler						
R01	Test and replace thermostat and water solenoid.	Renew Component	2	2026	\$0	\$0
R02	Replace Steam Condensate Meter [^] and associated component.	Renew Assembly	15	2026	\$6,000	\$6,180
Mech 25 - Heat Pump Condensing Unit - Outdoor Section						
R01	Cyclical replacement of components of condensing units on split system AC.	Renew Assembly	15	2026	\$9,000	\$9,270



Mech 26 - Heat Pump - Indoor Section - Air-to-air						
R01	Cyclical replacement of heat pumps.	Renew Assembly	15	2026	\$12,000	\$12,360
Mech 28 - Heat Exchanger - Shell & Tube - District Steam to Hot Water						
J01	Clean exchangers subject to fouling removing scale, sludge deposits, etc.	Maintenance	5	2026	\$525	\$541
J02	If the heat exchanger is equipped with sacrificial anodes or plates, replace these as required.	Maintenance	5	2026	\$0	\$0
Mech 31 - Make Up Air Unit - Indoor - Hydronic						
J01	Motor mount - Inspect for damage, cracks or corrosion.	Maintenance	2	2026	\$0	\$0
R01	Cyclical replacement of pulleys and motors and vibration isolation, as required.	Renew Component	8	2026	\$0	\$0
Mech 32 - Exhaust Fan - Small Service - Cabinet						
R01	Cyclical replacement of failed or damaged general purpose exhaust fans, as required.	Renew Assembly	5	2026	\$1,575	\$1,622
Mech 33 - Exhaust Fan Parkade - Inline						
R01	Cyclical replacement of motors, fan blades and bearings on supply and exhaust fans, as required.	Renew Component	3	2026	\$0	\$0
Mech 34 - Indoor Air handler - Fan Coil Unit - AC						
R01	Replace split system AC units.	Renew Assembly	15	2026	\$20,000	\$20,600
Mech 36 - Trash Compactor						
R01	Replace hydraulic pumps.	Renew Component	10	2026	\$0	\$0
R02	Replace compactor hoses.	Renew Component	10	2026	\$0	\$0
Elevator						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
J01	Check and test the overload devices.	Maintenance	2	2026	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	Maintenance	2	2026	\$0	\$0
J03	Conduct full load performance test.	Maintenance	2	2026	\$0	\$0
Fire Safety						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Fire 01 - Fire Alarm Panel - Addressable						
J01	Replace battery packs for fire alarm control panels.	Maintenance	5	2026	\$0	\$0
R01	Replace battery packs.	Renew Component	5	2026	\$0	\$0
Fire 04 - Dry Sprinkler Compressor						
R01	Replace fire sprinkler compressor.	Renew Assembly	14	2026	\$5,000	\$5,150



Fire 05 - Fire & Jockey Pump						
J01	Conduct flow test.	Maintenance	5	2026	\$0	\$0
R01	Replace jockey pump.	Renew Component	12	2026	\$0	\$0
R02	Rebuild fire pump.	Renew Component	15	2026	\$0	\$0
Fire 06 - Portable Fire Extinguisher						
J01	Conduct hydrotest on fire extinguishers.	Maintenance	12	2026	\$0	\$0
Fire 07 - Sprinkler & Standpipe - Wet						
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	Maintenance	5	2026	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	Maintenance	5	2026	\$0	\$0
R01	Phased replacement of sprinkler zone control valves, as required.	Renew Component	20	2026	\$0	\$0
R02	Renew compromised portions of piping, gaskets, connections, valves, devices and trim to maintain required function.	Renew Component	5	2026	\$10,770	\$11,093
Fire 08 - Sprinkler System - Dry						
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	Maintenance	5	2026	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	Maintenance	5	2026	\$0	\$0
R02	Replace damaged sprinkler heads, hangers and leaking gaskets, cages, sway-braces, drains, etc. as required.	Renew Component	5	2026	\$1,003	\$1,033
Fire 10 - Emergency Egress Equipment						
R01	Cyclical replacement of batteries and lamps in DC battery packs.	Renew Component	5	2026	\$0	\$0
Amenities						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Amen 02 - Domestic Appliances						
R01	Replace domestic appliances.	Renew Assembly	15	2026	\$1,575	\$1,622
Amen 03 - Fitness Equipments						
R01	Replace components of fitness equipment, as required.	Renew Assembly	15	2026	\$3,150	\$3,245
Amen 05 - Furniture & Accessories						
R01	Replace furnishings in common areas, as required.	Renew Assembly	15	2026	\$5,000	\$5,150
Amen 08 - Office Furniture						
R01	Replace Office furniture and associated components, as required.	Renew Assembly	15	2026	\$2,000	\$2,060
Amen 10 - Audio Visual Equipment						
R01	Cyclical replacement and upgrade of components of audiovisual equipment, excluding field wiring, as required.	Renew Assembly	10	2026	\$2,000	\$2,060



Sitework

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Site 01 - Site Guardrails						
R01	Replace gate hardware.	Renew Component	10	2026	\$0	\$0
Site 06 - Outdoor Furniture						
R02	Replace outdoor furniture, as required.	Renew Assembly	10	2026	\$1,000	\$1,030
Site 07 - Irrigation System						
R01	Cylcal replacement of components of irrigation sprinkler system, as required.	Renew Assembly	15	2026	\$5,250	\$5,408

Year 2027

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 11 - Fibre-Cement Cladding						
R03	Repaint fibre-cement cladding.	Renew Component	20	2027	\$368,000	\$390,411
Encl 12 - Curtain Wall						
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Renew Component	2	2027	\$1,375	\$1,459
Encl 13 - Aluminum Framed Window						
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Maintenance	2	2027	\$3,000	\$3,183
Encl 16 - Metal Clad Swing Door						
R02	Repaint metal clad swing doors.	Renew Component	20	2027	\$3,000	\$3,183
Encl 19 - Metal Frame and Glass Canopy						
R01	Repaint exposed metal frame of canopy assemblies.	Renew Component	20	2027	\$1,000	\$1,061
Encl 24 - Sealant						
R01	Replace sealants at interfaces between building enclosure assemblies, and at penetrations through assemblies in accordance with sealant renewals plan.	Renew Assembly	10	2027	\$134,000	\$142,161

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 01 - Emergency Generator						
R01	Replace generator battery packs.	Renew Component	4	2027	\$0	\$0
R02	Replace generator hoses, as required.	Renew Component	10	2027	\$0	\$0
R03	Rebuild emergency generator.	Renew Component	20	2027	\$15,000	\$15,914
Elec 02 - Tank - Fuel Oil Storage						
R01	Replacement of oil storage tank (and enclosure), as required.	Renew Assembly	15	2027	\$8,000	\$8,487



Elec 06 - Exterior Light Fixtures						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
R05	Replace exterior light fixtures, as required, for aesthetic purposes, to match ballast replacement cycles, or technological obsolescence.	Renew Assembly	20	2027	\$15,000	\$15,914
Elec 07 - Interior Light Fixtures						
R05	Replace interior light fixtures, as required, for aesthetic purposes, to match ballast replacement cycles, or technological obsolescence.	Renew Assembly	20	2027	\$25,000	\$26,523
Mechanical						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 04 - Controls - HVAC Instrumentation						
R01	Cyclical replacement of miscellaneous HVAC instrumentation, as required.	Renew Assembly	3	2027	\$525	\$557
Mech 16 - Drainage - Storm - Internal						
R02	Auger and clean drain lines.	Maintenance	2	2027	\$2,000	\$2,122
Mech 18 - Pump - Domestic Water Booster						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2027	\$0	\$0
Mech 19 - Tank - Expansion -DHW - Diaphragm						
R01	Cyclical replacement of hot water expansion tanks, as required.	Renew Assembly	20	2027	\$10,000	\$10,609
Mech 20 - Valves - Cross Connection & Backflow Prevention						
R01	Cyclical replacement of cross connection & back flow prevention valves, as required.	Renew Assembly	20	2027	\$6,300	\$6,684
Mech 21 - Valves - Plumbing Flow Control and Directional						
R02	Cyclical replacement of valves, as required.	Renew Assembly	20	2027	\$6,000	\$6,365
Mech 27 - Steam Bucket Trap						
R01	Cyclic replacement of steam bucket trap, as required.	Renew Assembly	20	2027	\$2,000	\$2,122
Mech 33 - Exhaust Fan Parkade - Inline						
R02	Rebuild of supply and exhaust fans, as required.	Renew Assembly	20	2027	\$21,000	\$22,279
Mech 35 - Overhead Gate Motor						
R01	Replace overhead door motors and operators, as required.	Renew Assembly	20	2027	\$9,000	\$9,548
Mech 36 - Trash Compactor						
R03	Replace trash compactor.	Renew Assembly	20	2027	\$15,750	\$16,709
Elevator						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
R01	Replace elevator hoist ropes, as required. Confirm with elevator maintenance contractor or through a condition assessment.	Renew Component	15	2027	\$0	\$0
R02	Replace elevator controls and drive, as required. Confirm with elevator maintenance contractor or through a condition assessment.	Renew Component	20	2027	\$0	\$0



Fire Safety

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Fire 02 - Fire Detection & Alarm						
R01	Cyclical replacement of speakers, heat detectors, smoke detectors and related modules, excluding field wiring.	Renew Assembly	20	2027	\$107,289	\$113,823
Fire 03 - Fire Hose Cabinet						
R01	Replace fire hoses.	Renew Assembly	40	2027	\$10,500	\$11,139
Fire 09 - Sprinkler Valve Assembly - Dry						
R01	Phased replacement of sprinkler zone control valves, as required.	Renew Component	20	2027	\$0	\$0
R02	Replace gaskets in dry sprinkler valves.	Renew Component	20	2027	\$0	\$0
R03	Rebuild dry sprinkler valves.	Renew Component	20	2027	\$0	\$0
Fire 10 - Emergency Egress Equipment						
R02	Cyclical replacement of LED exit signs.	Renew Assembly	15	2027	\$22,500	\$23,870

Interior Finishes

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Finish 01 - Painted Concrete Flooring						
R01	Repaint concrete flooring in service rooms, as required. Repaint faded stair tread safety markings.	Renew Component	10	2027	\$1,785	\$1,894
Finish 03 - Resilient Sheet Flooring						
R01	Replace resilient flooring.	Renew Assembly	20	2027	\$25,200	\$26,735
Finish 04 - Carpet						
R01	Renew carpet.	Renew Assembly	15	2027	\$27,720	\$29,408
Finish 09 - Ceramic Tile						
R01	Replace grout and sealant at wall tile, as required.	Renew Component	10	2027	\$1,344	\$1,426
Finish 10 - Paint						
R02	Repaint wall surface including preparation of substrate.	Renew Assembly	10	2027	\$33,000	\$35,010
Finish 11 - Wallpaper Covering						
R01	Replace wall paper covering at affected walls.	Renew Assembly	15	2027	\$34,760	\$36,877
Finish 13 - General Housekeeping						
R01	Update and replace cleaning equipment, as required.	Renew Assembly	10	2027	\$3,000	\$3,183



Year 2028

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 02 - Protected Waterproofing Membrane Podium with Landscaping						
R02	Complete localized crack injections within the parkade, as required.	Renew Component	3	2028	\$5,000	\$5,464
Encl 21 - Parking Slab with Traffic-bearing Membrane						
J01	Re-apply traffic demarcation striping and directional signage as required. Frequency will depend on traffic volume and other factors.	Maintenance	5	2028	\$1,050	\$1,147
Encl 23 - General & Inspections						
J01	Review metal flashing at all location and touch-up paint as required.	Maintenance	3	2028	\$0	\$0

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 05 - Electrical Distribution						
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	Maintenance	2	2028	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	Maintenance	2	2028	\$0	\$0
Elec 10 - Security Surveillance						
R01	Service the multiplex unit, update software as required.	Renew Component	5	2028	\$0	\$0

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 12 - Pump - DHW - Circulation and Recirculation						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2028	\$0	\$0
Mech 14 - Drainage - Sanitary						
J01	Insert video cameras into main lines to conduct pipe inspection.	Maintenance	2	2028	\$0	\$0
J02	Auger and clean drain lines.	Maintenance	2	2028	\$4,200	\$4,589
Mech 22 - Condensate Accumulator/Cooler						
R01	Test and replace thermostat and water solenoid.	Renew Component	2	2028	\$0	\$0
Mech 31 - Make Up Air Unit - Indoor - Hydronic						
J01	Motor mount - Inspect for damage, cracks or corrosion.	Maintenance	2	2028	\$0	\$0



Elevator

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
J01	Check and test the overload devices.	Maintenance	2	2028	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	Maintenance	2	2028	\$0	\$0
J03	Conduct full load performance test.	Maintenance	2	2028	\$0	\$0

Year 2029

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 12 - Curtain Wall						
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Renew Component	2	2029	\$1,375	\$1,548
Encl 13 - Aluminum Framed Window						
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Maintenance	2	2029	\$3,000	\$3,377
Encl 21 - Parking Slab with Traffic-bearing Membrane						
R08	Complete targeted parkade membrane repairs and concrete crack repairs, as required.	Renew Component	3	2029	\$10,000	\$11,255

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 04 - Unit Substation						
R01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	Renew Component	3	2029	\$5,000	\$5,628
Elec 06 - Exterior Light Fixtures						
R02	Cyclical group replacement of lamps in exterior lighting fixtures. A set of lamps is replaced at a scheduled time.	Renew Component	3	2029	\$0	\$0
Elec 07 - Interior Light Fixtures						
R01	Cyclical group replacement of lamps in interior lighting fixtures. A set of lamps are replaced at a scheduled time.	Renew Component	3	2029	\$0	\$0

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 03 - Controls - Direct Digital						
R01	Cyclical replacement of sensors and other field devices, as required.	Renew Component	3	2029	\$0	\$0
Mech 09 - Tank - DHW - Small Domestic Electric						
R01	Replace electric hot water reheat tank.	Renew Assembly	8	2029	\$1,200	\$1,351



Mech 11 - Tank - DHW - Storage and DHW Heating						
J01	Dismantle, inspect and clean tube bundle on immersion heating tanks.	Maintenance	5	2029	\$0	\$0
J02	Replace anode rods in hot water heaters.	Maintenance	5	2029	\$0	\$0
Mech 16 - Drainage - Storm - Internal						
R02	Auger and clean drain lines.	Maintenance	2	2029	\$2,000	\$2,251
Mech 18 - Pump - Domestic Water Booster						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2029	\$0	\$0
Mech 33 - Exhaust Fan Parkade - Inline						
R01	Cyclical replacement of motors, fan blades and bearings on supply and exhaust fans, as required.	Renew Component	3	2029	\$0	\$0

Amenities

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Amen 01 - Computer Equipments						
R01	Replace components of electronic equipment as required.	Renew Assembly	6	2029	\$3,150	\$3,545

Year 2030

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 17 - Exposed Urethane Balcony & Eyebrow Membrane - Concrete Substrate						
J01	Repair locally damaged and delaminated balcony membrane prior to re-application of top coat.	Maintenance	10	2030	\$11,617	\$13,467
R01	Prepare and re-apply membrane top coat.	Renew Component	10	2030	\$86,900	\$100,741
Encl 18 - Architectural Concrete Arbour						
R01	Prepare and re-apply membrane top coat.	Renew Component	10	2030	\$18,150	\$21,041
Encl 23 - General & Inspections						
J03	Update depreciation report.	Maintenance	5	2030	\$0	\$0

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 05 - Electrical Distribution						
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	Maintenance	2	2030	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	Maintenance	2	2030	\$0	\$0



Elec 09 - Proximity Access Control

R01	Replace media in recording device to maintain continuous records from proximity access control devices. Retain records in secure archive for period determined by policy.	Renew Component	6	2030	\$0	\$0
-----	---	-----------------	---	------	-----	-----

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 04 - Controls - HVAC Instrumentation						
R01	Cyclical replacement of miscellaneous HVAC instrumentation, as required.	Renew Assembly	3	2030	\$525	\$609
Mech 12 - Pump - DHW - Circulation and Recirculation						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2030	\$0	\$0
Mech 13 - Pumps - Storm Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2030	\$0	\$0
R01	Overhaul storm sump pumps.	Renew Component	5	2030	\$2,000	\$2,319
Mech 14 - Drainage - Sanitary						
J01	Insert video cameras into main lines to conduct pipe inspection.	Maintenance	2	2030	\$0	\$0
J02	Auger and clean drain lines.	Maintenance	2	2030	\$4,200	\$4,869
Mech 15 - Pumps - Sanitary Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2030	\$0	\$0
R01	Overhaul sanitary sump pumps.	Renew Component	5	2030	\$2,100	\$2,434
Mech 17 - Piping - Domestic Water Distribution						
J04	Comprehensive third party testing and inspection of the copper domestic water distribution system.	Assessment	0	2030	\$14,000	\$16,230
Mech 21 - Valves - Plumbing Flow Control and Directional						
R01	Valve Maintenance.	Renew Component	5	2030	\$6,300	\$7,303
Mech 22 - Condensate Accumulator/Cooler						
R01	Test and replace thermostat and water solenoid.	Renew Component	2	2030	\$0	\$0
Mech 31 - Make Up Air Unit - Indoor - Hydronic						
J01	Motor mount - Inspect for damage, cracks or corrosion.	Maintenance	2	2030	\$0	\$0

Elevator

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
J01	Check and test the overload devices.	Maintenance	2	2030	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	Maintenance	2	2030	\$0	\$0
J03	Conduct full load performance test.	Maintenance	2	2030	\$0	\$0



Year 2031

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 02 - Protected Waterproofing Membrane Podium with Landscaping						
R02	Complete localized crack injections within the parkade, as required.	Renew Component	3	2031	\$5,000	\$5,970
Encl 12 - Curtain Wall						
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Renew Component	2	2031	\$1,375	\$1,642
Encl 13 - Aluminum Framed Window						
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Maintenance	2	2031	\$3,000	\$3,582
Encl 22 - Slab-on-Grade						
J01	Re-apply traffic demarcation striping and directional signage. Frequency will depend on traffic volume and other factors.	Maintenance	5	2031	\$1,050	\$1,254
Encl 23 - General & Inspections						
J01	Review metal flashing at all location and touch-up paint as required.	Maintenance	3	2031	\$0	\$0
J04	Perform full condition assessment of all enclosure systems.	Assessment	5	2031	\$12,000	\$14,329

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 01 - Emergency Generator						
R01	Replace generator battery packs.	Renew Component	4	2031	\$0	\$0
Elec 03 - Distribution Transformer - Interior						
J01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	Maintenance	5	2031	\$0	\$0
J02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	Maintenance	5	2031	\$0	\$0
J03	Check for tightness of electrical connections.	Maintenance	5	2031	\$0	\$0
J04	Tighten bolted connections.	Maintenance	5	2031	\$0	\$0



Elec 04 - Unit Substation						
J01	Lubricate all moving contacts.	Maintenance	5	2031	\$0	\$0
J02	Perform mechanical tests in accordance with manufacturer guidelines to verify mechanical integrity of unit substation equipment and main secondary disconnects (e.g. check switches for correct operation and alignment; megger and verify equipment phase colours; inspect candles for damage or cracking, oil leakage and oil level for oil circuit breakers).	Maintenance	5	2031	\$0	\$0
J03	Calibrate electrical relays to match documented (or utility company) settings.	Maintenance	5	2031	\$0	\$0
J04	Prior to cleaning verify nameplate information; check insulator chips, cracks and tracking; inspect lightning arrestors and visually inspect contacts and bus.	Maintenance	5	2031	\$0	\$0
J05	Verify that unit substation grounding network is adequate to ensure safety during work and while equipment is in operation.	Maintenance	5	2031	\$0	\$0
J06	Check tightness and torque all electrical connections. To be coordinated with 5-year system shutdown and cleaning.	Maintenance	5	2031	\$0	\$0

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 03 - Controls - Direct Digital						
R02	Replace DDC controllers.	Renew Assembly	15	2031	\$10,500	\$12,538
Mech 05 - Gas Detection - Parking Garage						
R01	Cyclical replacement of gas detection sensors.	Renew Assembly	5	2031	\$2,835	\$3,385
Mech 06 - Heat Tracing - Freeze Protection						
R01	Cyclical replacement of components of electric heat tracing cable, including control module and pipe insulation.	Renew Assembly	5	2031	\$5,250	\$6,269
Mech 16 - Drainage - Storm - Internal						
R02	Auger and clean drain lines.	Maintenance	2	2031	\$2,000	\$2,388
Mech 17 - Piping - Domestic Water Distribution						
J01	Check that pipe hangers are properly fastened.	Maintenance	5	2031	\$0	\$0
J02	Check piping and supports for mechanical damage, proper clearance, adequate insulation, and labeling.	Maintenance	5	2031	\$0	\$0
J03	Check integrity of all soldered pipe connections and couplings.	Maintenance	5	2031	\$0	\$0
Mech 18 - Pump - Domestic Water Booster						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2031	\$0	\$0



Mech 28 - Heat Exchanger - Shell & Tube - District Steam to Hot Water						
ID	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
J01	Clean exchangers subject to fouling removing scale, sludge deposits, etc.	Maintenance	5	2031	\$525	\$627
J02	If the heat exchanger is equipped with sacrificial anodes or plates, replace these as required.	Maintenance	5	2031	\$0	\$0
Mech 32 - Exhaust Fan - Small Service - Cabinet						
R01	Cyclical replacement of failed or damaged general purpose exhaust fans, as required.	Renew Assembly	5	2031	\$1,575	\$1,881
Fire Safety						
ID	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Fire 01 - Fire Alarm Panel - Addressable						
J01	Replace battery packs for fire alarm control panels.	Maintenance	5	2031	\$0	\$0
R01	Replace battery packs.	Renew Component	5	2031	\$0	\$0
Fire 05 - Fire & Jockey Pump						
J01	Conduct flow test.	Maintenance	5	2031	\$0	\$0
Fire 06 - Portable Fire Extinguisher						
R01	Cyclical replacement of fire extinguishers.	Renew Assembly	12	2031	\$6,720	\$8,024
Fire 07 - Sprinkler & Standpipe - Wet						
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	Maintenance	5	2031	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	Maintenance	5	2031	\$0	\$0
R02	Renew compromised portions of piping, gaskets, connections, valves, devices and trim to maintain required function.	Renew Component	5	2031	\$10,770	\$12,860
Fire 08 - Sprinkler System - Dry						
J01	Sprinkler Piping - Conduct flow test on piping, both exposed and underground.	Maintenance	5	2031	\$0	\$0
J02	Sprinkler Heads - Test extra high temperature on sprinkler heads.	Maintenance	5	2031	\$0	\$0
R02	Replace damaged sprinkler heads, hangers and leaking gaskets, cages, sway-braces, drains, etc. as required.	Renew Component	5	2031	\$1,003	\$1,198
Fire 10 - Emergency Egress Equipment						
R01	Cyclical replacement of batteries and lamps in DC battery packs.	Renew Component	5	2031	\$0	\$0



Year 2032

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 18 - Architectural Concrete Arbour						
R02	Replace Exposed Urethane Membrane and associated components.	Renew Assembly	25	2032	\$13,200	\$16,234
Encl 20 - Open-grid Overhead Parkade Gate						
R01	Replacement of sectional overhead door and associated hardware.	Renew Assembly	25	2032	\$20,000	\$24,597
Encl 21 - Parking Slab with Traffic-bearing Membrane						
R08	Complete targeted parkade membrane repairs and concrete crack repairs, as required.	Renew Component	3	2032	\$10,000	\$12,299

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 04 - Unit Substation						
R01	Clean and maintain all unit substation equipment (reference subsequent maintenance tasks). Vacuum to remove accumulated dust. Check oil levels of oil filled equipment.	Renew Component	3	2032	\$5,000	\$6,149
R02	Conduct infrared thermography and ultrasonic scanning tests on unit substation equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated with maintenance activities.	Renew Component	6	2032	\$2,000	\$2,460



Elec 05 - Electrical Distribution						
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	Maintenance	2	2032	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	Maintenance	2	2032	\$0	\$0
R01	Conduct infrared thermography and ultrasonic scanning tests on all switchgear, distribution panels, cable and bus connections, and other critical equipment. Results may diagnose hidden hazards; contractor should provide certificate for insurance purposes. To be coordinated prior to planned maintenance to identify areas that require immediate attention. Tests should be conducted on energized equipment during peak demand periods if possible.	Renew Component	6	2032	\$3,150	\$3,874
Elec 06 - Exterior Light Fixtures						
R01	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	Renew Component	6	2032	\$0	\$0
R02	Cyclical group replacement of lamps in exterior lighting fixtures. A set of lamps is replaced at a scheduled time.	Renew Component	3	2032	\$0	\$0
Elec 07 - Interior Light Fixtures						
R01	Cyclical group replacement of lamps in interior lighting fixtures. A set of lamps are replaced at a scheduled time.	Renew Component	3	2032	\$0	\$0
R02	Cyclical replacement of lighting controls (timers, motion sensors, etc.) as required.	Renew Component	6	2032	\$0	\$0
Elec 08 - Enterphone System						
R01	Replace enterphone panels, excluding field wiring.	Renew Assembly	25	2032	\$12,600	\$15,496
Mechanical						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 03 - Controls - Direct Digital						
R01	Cyclical replacement of sensors and other field devices, as required.	Renew Component	3	2032	\$0	\$0
Mech 12 - Pump - DHW - Circulation and Recirculation						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2032	\$0	\$0
Mech 13 - Pumps - Storm Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2032	\$0	\$0



Mech 14 - Drainage - Sanitary						
ID	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
J01	Insert video cameras into main lines to conduct pipe inspection.	Maintenance	2	2032	\$0	\$0
J02	Auger and clean drain lines.	Maintenance	2	2032	\$4,200	\$5,165
Mech 15 - Pumps - Sanitary Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2032	\$0	\$0
Mech 18 - Pump - Domestic Water Booster						
R01	Replace motor bearings, pump bearings and seals. Inspect mounts and housing, repair as required.	Renew Component	7	2032	\$1,650	\$2,029
Mech 22 - Condensate Accumulator/Cooler						
R01	Test and replace thermostat and water solenoid.	Renew Component	2	2032	\$0	\$0
Mech 28 - Heat Exchanger - Shell & Tube - District Steam to Hot Water						
R01	Cyclic replacement of shell and tube heat exchanger, as required.	Renew Assembly	20	2032	\$33,600	\$41,324
Mech 31 - Make Up Air Unit - Indoor - Hydronic						
J01	Motor mount - Inspect for damage, cracks or corrosion.	Maintenance	2	2032	\$0	\$0
R02	Cyclical rebuild or replacement of make-up air units.	Renew Assembly	15	2032	\$30,000	\$36,896
Mech 33 - Exhaust Fan Parkade - Inline						
R01	Cyclical replacement of motors, fan blades and bearings on supply and exhaust fans, as required.	Renew Component	3	2032	\$0	\$0
Elevator						
ID	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
J01	Check and test the overload devices.	Maintenance	2	2032	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	Maintenance	2	2032	\$0	\$0
J03	Conduct full load performance test.	Maintenance	2	2032	\$0	\$0
Interior Finishes						
ID	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Finish 06 - Mirror						
R01	Replace mirrored wall, as required.	Renew Assembly	25	2032	\$4,500	\$5,534
Finish 08 - Wood Paneling						
R01	Replace wood paneling.	Renew Assembly	25	2032	\$8,000	\$9,839
Finish 09 - Ceramic Tile						
R02	Replace ceramic wall tiles.	Renew Assembly	25	2032	\$4,800	\$5,903
Finish 10 - Paint						
R01	Repaint interior wall in high traffic area, as required.	Renew Component	10	2032	\$22,000	\$27,057



Amenities

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Amen 09 - Public Signage						
R01	Replace damaged and outdated signage, as required.	Renew Assembly	25	2032	\$3,000	\$3,690

Year 2033

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 12 - Curtain Wall						
R01	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Renew Component	2	2033	\$1,375	\$1,742
Encl 13 - Aluminum Framed Window						
J03	Replace insulating glazing units (IGUs) with condensation or misting between panes of glass.	Maintenance	2	2033	\$3,000	\$3,800
Encl 21 - Parking Slab with Traffic-bearing Membrane						
J01	Re-apply traffic demarcation striping and directional signage as required. Frequency will depend on traffic volume and other factors.	Maintenance	5	2033	\$1,050	\$1,330
J02	Repair damaged and delaminated membrane prior to re-application of top coat.	Maintenance	10	2033	\$15,552	\$19,701
R01	Re-apply membrane top coat in high traffic areas.	Renew Component	10	2033	\$42,525	\$53,869

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 10 - Security Surveillance						
R01	Service the multiplex unit, update software as required.	Renew Component	5	2033	\$0	\$0

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 04 - Controls - HVAC Instrumentation						
R01	Cyclical replacement of miscellaneous HVAC instrumentation, as required.	Renew Assembly	3	2033	\$525	\$665
Mech 16 - Drainage - Storm - Internal						
R02	Auger and clean drain lines.	Maintenance	2	2033	\$2,000	\$2,534
Mech 18 - Pump - Domestic Water Booster						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2033	\$0	\$0



Year 2034

Enclosure

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Encl 02 - Protected Waterproofing Membrane Podium with Landscaping						
R02	Complete localized crack injections within the parkade, as required.	Renew Component	3	2034	\$5,000	\$6,524
Encl 23 - General & Inspections						
J01	Review metal flashing at all location and touch-up paint as required.	Maintenance	3	2034	\$0	\$0

Electrical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elec 05 - Electrical Distribution						
J01	Check for any exposed wiring and visually inspect wiring, where accessible, for signs of distress. Repair as required.	Maintenance	2	2034	\$0	\$0
J02	Check raceways and cables for proper mechanical support, check insulation for abrasion or cracks at support points, examine raceway joints for clean and tight connections. Check busducts connections for proper tightness and evidence of overheating, corrosion, arcing or other deterioration. Clean and torque dirty and loose connections.	Maintenance	2	2034	\$0	\$0

Mechanical

	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Mech 10 - Tank - DHW - Small Domestic Electric						
R01	Replace of electric hot water reheat tank.	Renew Assembly	8	2034	\$1,200	\$1,566
Mech 11 - Tank - DHW - Storage and DHW Heating						
J01	Dismantle, inspect and clean tube bundle on immersion heating tanks.	Maintenance	5	2034	\$0	\$0
J02	Replace anode rods in hot water heaters.	Maintenance	5	2034	\$0	\$0
R01	Cyclical replacement of domestic hot water storage tanks.	Renew Assembly	8	2034	\$9,449	\$12,329
Mech 12 - Pump - DHW - Circulation and Recirculation						
J01	Inspect brushes and remove brush dust from motor.	Maintenance	2	2034	\$0	\$0
R01	Cyclical replacement of recirculating pumps, as required.	Renew Assembly	8	2034	\$1,890	\$2,466
Mech 13 - Pumps - Storm Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2034	\$0	\$0
Mech 14 - Drainage - Sanitary						
J01	Insert video cameras into main lines to conduct pipe inspection.	Maintenance	2	2034	\$0	\$0
J02	Auger and clean drain lines.	Maintenance	2	2034	\$4,200	\$5,480
Mech 15 - Pumps - Sanitary Lift and Control Panel						
J01	Coat exposed shaft of impeller with anti-seize compound.	Maintenance	2	2034	\$0	\$0



Mech 22 - Condensate Accumulator/Cooler						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
R01	Test and replace thermostat and water solenoid.	Renew Component	2	2034	\$0	\$0
Mech 31 - Make Up Air Unit - Indoor - Hydronic						
J01	Motor mount - Inspect for damage, cracks or corrosion.	Maintenance	2	2034	\$0	\$0
R01	Cyclical replacement of pulleys and motors and vibration isolation, as required.	Renew Component	8	2034	\$0	\$0
Elevator						
	Description	Task	Frequency	Next Event	Cost (CYD)	Cost (FYD)
Elev 01 - Traction Elevators, Overhead Sidemount Gearless						
J01	Check and test the overload devices.	Maintenance	2	2034	\$0	\$0
J02	With test weights, load each elevator to contract capacity and operate the elevator in both directions, making single and two floor runs as well as runs for the full travel.	Maintenance	2	2034	\$0	\$0
J03	Conduct full load performance test.	Maintenance	2	2034	\$0	\$0

Appendix D

Disclosures and Disclaimers

Disclosures and Disclaimers

Condition of the Assets

The method of determining the physical condition of the assets is based on a visual review of a representative sampling of the assets in readily accessible locations, discussions with facility representatives, and review of readily available reference documents. No destructive testing or exploratory openings are carried out on any of the assets and the equipment is not disassembled, operated, or subject to re-commissioning tests. The physical review is not a full “condition assessment” since operating, testing, or exploratory openings are excluded from the scope of services.

Cost Estimating for Assets

- All estimates of costs are provided in future year dollars.
- All estimates of costs are Class D estimates intended for planning purposes and not for accounting or tender use. See Glossary of Terms for definition of Class D estimates.
- Actual costs will vary depending on several factors. The estimates assume economies of scale will be achieved by bundling work tasks together into larger renewal, repair, or rehabilitation projects. Small tasks performed individually may exceed the estimates presented.
- Soft costs, such as consulting services and contingency allowances are not included in the budget estimates. When developing cost estimates for projects in greater detail for budgeting, each project should include appropriate soft costs - such as Owner contingency, permit fees, engineering fees, etc. Depending on the sizes, scope and timing of individual projects, the magnitude of the soft costs will vary.
- Construction costs are subject to the vagaries of the marketplace. At the time of tender, costs may vary depending on the time of the year, contractor availability, and other factors.
- The estimates must be updated over time, further developed for scope of work and confirmed by competitive tender before any contracts are awarded.
- Detailed repair specifications are required to be prepared in order to confirm scopes of work and costs.
- The estimates do not include allowances for site specific access requirements or environmental concerns, which should be addressed on a project-by-project basis.
- Consideration may sometimes need to be given to costs arising from the impact of projects on occupancy use and facility operations.
- Replacement costs are typically based on like-for-like with a similar asset unless code or other circumstances require the replacement cost to include an upgrade.

Maintenance of the Assets:

The maintenance checklists are not exhaustive and are intended as a framework for the ongoing refinement of the maintenance program.

- Work must only be carried out by appropriately qualified personnel who have the necessary and sufficient knowledge about the maintenance tasks and maintenance intervals.
- The manufacturers' latest printed instructions should take precedence in the event of any conflict with the maintenance checklists.
- The Owners' maintenance staff and/or service contractors are responsible to verify what is contained in the manufacturers' documentation regarding recommended maintenance procedures and intervals.
- The maintenance checklists and maintenance intervals should be reviewed annually and adjusted, as required, to reflect the service environment, feedback from contractors, etc.

Specialist and Non-Specialist Reviews

Our personnel collect the asset inventory data for all the different systems, including mechanical, plumbing, fire safety, elevator, electrical, interior finishes, and sitework. Our scope of services is to identify the assets within each system, determine their age and report on their reasonable service life-cycles according to accepted industry standards. RDH personnel do not make observations with regard to specialty building system conditions unless specifically addressed in our proposal.

Forecasting the Useful Service Life of Assets

The service life of assets can be affected by a variety of circumstances, including the following:

- The quality of the maintenance conducted on an asset will affect the service life of the asset. Poor maintenance can lead to a reduced service life and may result in the premature failure of an asset.
- Insurable losses (force majeure), such as earthquakes, fires, and floods can shorten the life of an asset. These events are not considered in a Depreciation Report.
- Asset service life in a Depreciation Report is determined according to accepted industry standards.

Funding Models

The funding models for Depreciation Reports are based on a 30-year horizon and use "future year dollars termed" methodology. This methodology projects the costs (in future year dollars) over the planning horizon and not beyond the terminus year of the planning horizon. The current year is the starting year of the planning horizon. The term,

therefore, matches the initial horizon and does not respect a shifting horizon. This means that in year 1 the funding scenarios will look forward for 30 years.

For example, in 2012 the model looks forward to 2042. In year two, it will be accurate for 29 years, as it is only looking forward to year 2042. When an update study is performed in three years, the revised funding scenarios will look forward 30 years from 2015 to 2045. Renewal and major maintenance projects that occur beyond the 30-year planning horizon are not considered in the scenarios; that is, those projects that occur beyond 30 years are unfunded in the funding scenarios.

Appendix E

Funding Scenario Cash Flow Tables



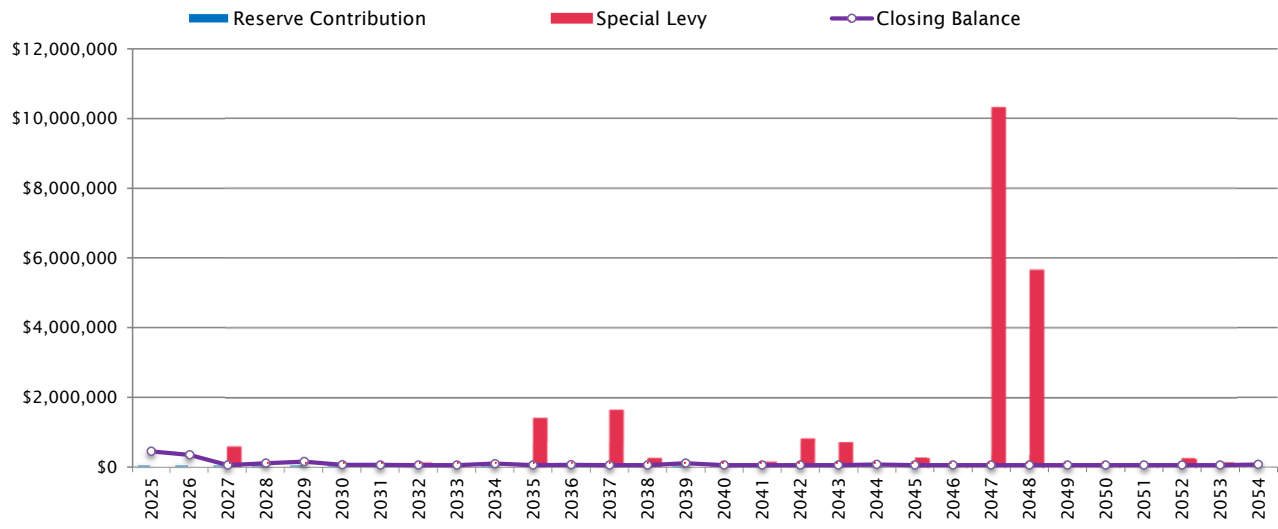
Making Buildings Better

Current Funding Model

Coopers Pointe



Fixed Annual Contribution of	\$71,148	Starting Reserve Balance	\$522,118			
Inflation Rate	3.0%	Minimum Closing Balance	\$50,000			
Interest/Investment Rate	2.0%	Annual Reserve Contribution	\$71,148			
Planning Horizon	30	Reserve Contribution Increase	0.0%			
Number of Units	86	Monthly Avg. Unit Contribution	\$69			
Year	Opening Balance	Reserve Contribution	Special Levy	Reserve Income	Renewal Costs	Closing Balance
2025	\$522,118	\$71,148	\$0	\$10,442	\$153,845	\$449,863
2026	\$449,863	\$71,148	\$0	\$8,997	\$181,715	\$348,294
2027	\$348,294	\$71,148	\$592,245	\$6,966	\$968,653	\$50,000
2028	\$50,000	\$71,148	\$0	\$1,000	\$11,200	\$110,948
2029	\$110,948	\$71,148	\$0	\$2,219	\$28,954	\$155,361
2030	\$155,361	\$71,148	\$0	\$3,107	\$169,013	\$60,603
2031	\$60,603	\$71,148	\$0	\$1,212	\$75,946	\$57,018
2032	\$57,018	\$71,148	\$139,243	\$1,140	\$218,549	\$50,000
2033	\$50,000	\$71,148	\$11,493	\$1,000	\$83,641	\$50,000
2034	\$50,000	\$71,148	\$0	\$1,000	\$28,365	\$93,783
2035	\$93,783	\$71,148	\$1,429,436	\$1,876	\$1,546,243	\$50,000
2036	\$50,000	\$71,148	\$0	\$1,000	\$60,606	\$61,542
2037	\$61,542	\$71,148	\$1,655,518	\$1,231	\$1,739,439	\$50,000
2038	\$50,000	\$71,148	\$271,430	\$1,000	\$343,578	\$50,000
2039	\$50,000	\$71,148	\$0	\$1,000	\$12,933	\$109,215
2040	\$109,215	\$71,148	\$100,784	\$2,184	\$233,332	\$50,000
2041	\$50,000	\$71,148	\$159,745	\$1,000	\$231,893	\$50,000
2042	\$50,000	\$71,148	\$837,725	\$1,000	\$909,873	\$50,000
2043	\$50,000	\$71,148	\$721,223	\$1,000	\$793,371	\$50,000
2044	\$50,000	\$71,148	\$0	\$1,000	\$51,465	\$70,683
2045	\$70,683	\$71,148	\$282,607	\$1,414	\$375,852	\$50,000
2046	\$50,000	\$71,148	\$40,229	\$1,000	\$112,377	\$50,000
2047	\$50,000	\$71,148	\$10,308,069	\$1,000	\$10,380,217	\$50,000
2048	\$50,000	\$71,148	\$5,660,282	\$1,000	\$5,732,430	\$50,000
2049	\$50,000	\$71,148	\$11,440	\$1,000	\$83,588	\$50,000
2050	\$50,000	\$71,148	\$75,336	\$1,000	\$147,484	\$50,000
2051	\$50,000	\$71,148	\$69,612	\$1,000	\$141,760	\$50,000
2052	\$50,000	\$71,148	\$256,701	\$1,000	\$328,849	\$50,000
2053	\$50,000	\$71,148	\$134,056	\$1,000	\$206,204	\$50,000
2054	\$50,000	\$71,148	\$0	\$1,000	\$47,662	\$74,486
		\$2,134,440	\$22,757,175	\$59,789	\$25,399,035	





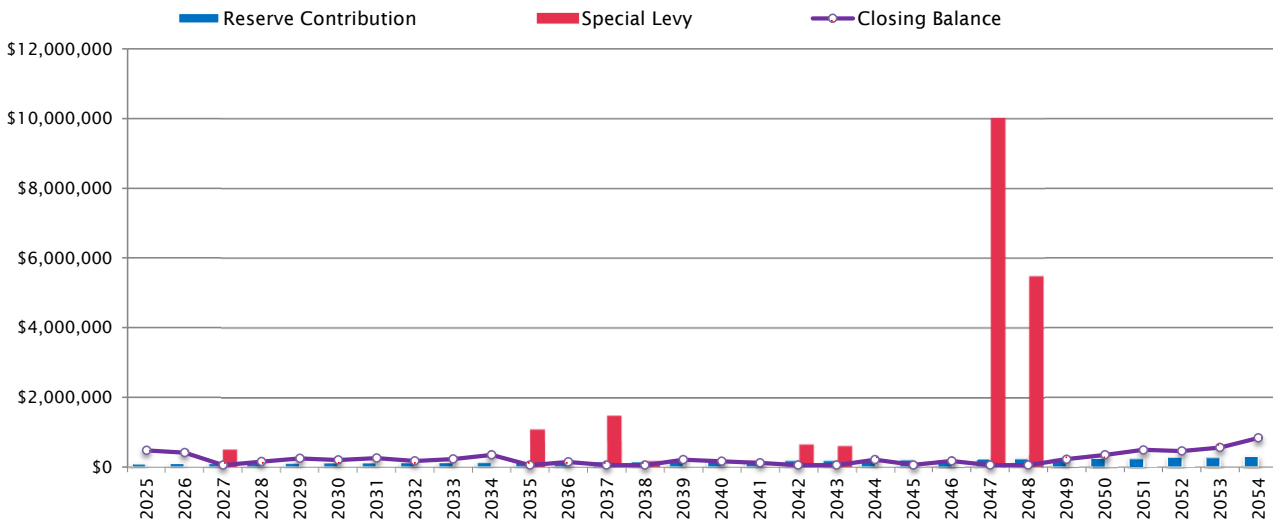
Making Buildings Better

Alternative #1 Funding Model

Coopers Pointe



Increasing Annual Contribution, Starting at		\$100,000	Starting Reserve Balance		\$522,118	
Inflation Rate		3.0%	Minimum Closing Balance		\$50,000	
Interest/Investment Rate		2.0%	Annual Reserve Contribution		\$100,000	
Planning Horizon		30	Reserve Contribution Increase		4.0%	
Number of Units		86	Monthly Avg. Unit Contribution		\$97	
Year	Opening Balance	Reserve Contribution	Special Levy	Reserve Income	Renewal Costs	Closing Balance
2025	\$522,118	\$100,000	\$0	\$10,442	\$153,845	\$478,715
2026	\$478,715	\$104,000	\$0	\$9,574	\$181,715	\$410,575
2027	\$410,575	\$108,160	\$491,706	\$8,211	\$968,653	\$50,000
2028	\$50,000	\$112,486	\$0	\$1,000	\$11,200	\$152,286
2029	\$152,286	\$116,986	\$0	\$3,046	\$28,954	\$243,364
2030	\$243,364	\$121,665	\$0	\$4,867	\$169,013	\$200,884
2031	\$200,884	\$126,532	\$0	\$4,018	\$75,946	\$255,488
2032	\$255,488	\$131,593	\$0	\$5,110	\$218,549	\$173,642
2033	\$173,642	\$136,857	\$0	\$3,473	\$83,641	\$230,331
2034	\$230,331	\$142,331	\$0	\$4,607	\$28,365	\$348,904
2035	\$348,904	\$148,024	\$1,092,337	\$6,978	\$1,546,243	\$50,000
2036	\$50,000	\$153,945	\$0	\$1,000	\$60,606	\$144,339
2037	\$144,339	\$160,103	\$1,482,110	\$2,887	\$1,739,439	\$50,000
2038	\$50,000	\$166,507	\$176,071	\$1,000	\$343,578	\$50,000
2039	\$50,000	\$173,168	\$0	\$1,000	\$12,933	\$211,235
2040	\$211,235	\$180,094	\$0	\$4,225	\$233,332	\$162,222
2041	\$162,222	\$187,298	\$0	\$3,244	\$231,893	\$120,871
2042	\$120,871	\$194,790	\$641,794	\$2,417	\$909,873	\$50,000
2043	\$50,000	\$202,582	\$589,790	\$1,000	\$793,371	\$50,000
2044	\$50,000	\$210,685	\$0	\$1,000	\$51,465	\$210,220
2045	\$210,220	\$219,112	\$0	\$4,204	\$375,852	\$57,684
2046	\$57,684	\$227,877	\$0	\$1,154	\$112,377	\$174,338
2047	\$174,338	\$236,992	\$10,015,401	\$3,487	\$10,380,217	\$50,000
2048	\$50,000	\$246,472	\$5,484,958	\$1,000	\$5,732,430	\$50,000
2049	\$50,000	\$256,330	\$0	\$1,000	\$83,588	\$223,742
2050	\$223,742	\$266,584	\$0	\$4,475	\$147,484	\$347,317
2051	\$347,317	\$277,247	\$0	\$6,946	\$141,760	\$489,750
2052	\$489,750	\$288,337	\$0	\$9,795	\$328,849	\$459,034
2053	\$459,034	\$299,870	\$0	\$9,181	\$206,204	\$561,881
2054	\$561,881	\$311,865	\$0	\$11,238	\$47,662	\$837,322
		\$5,608,494	\$19,974,166	\$131,579	\$25,399,035	





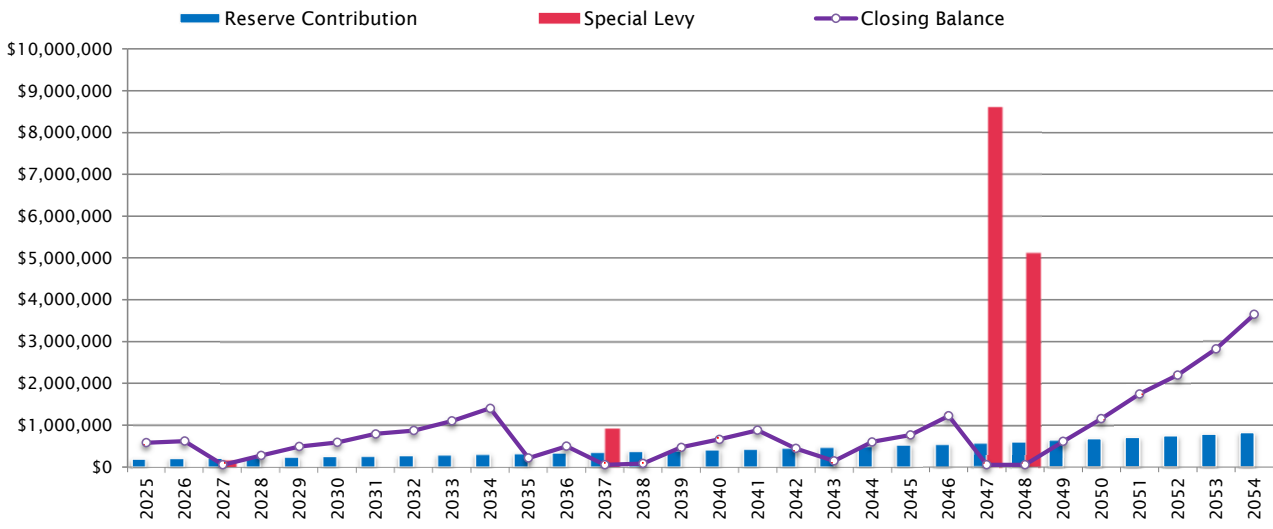
Making Buildings Better

Alternative #2 Funding Model

Coopers Pointe



Increasing Annual Contribution, Starting at		\$200,000	Starting Reserve Balance		\$522,118	
Inflation Rate		3.0%	Minimum Closing Balance		\$50,000	
Interest/Investment Rate		2.0%	Annual Reserve Contribution		\$200,000	
Planning Horizon		30	Reserve Contribution Increase		5.0%	
Number of Units		86	Monthly Avg. Unit Contribution		\$194	
Year	Opening Balance	Reserve Contribution	Special Levy	Reserve Income	Renewal Costs	Closing Balance
2025	\$522,118	\$200,000	\$0	\$10,442	\$153,845	\$578,715
2026	\$578,715	\$210,000	\$0	\$11,574	\$181,715	\$618,575
2027	\$618,575	\$220,500	\$167,206	\$12,371	\$968,653	\$50,000
2028	\$50,000	\$231,525	\$0	\$1,000	\$11,200	\$271,325
2029	\$271,325	\$243,101	\$0	\$5,426	\$28,954	\$490,899
2030	\$490,899	\$255,256	\$0	\$9,818	\$169,013	\$586,960
2031	\$586,960	\$268,019	\$0	\$11,739	\$75,946	\$790,773
2032	\$790,773	\$281,420	\$0	\$15,815	\$218,549	\$869,460
2033	\$869,460	\$295,491	\$0	\$17,389	\$83,641	\$1,098,699
2034	\$1,098,699	\$310,266	\$0	\$21,974	\$28,365	\$1,402,574
2035	\$1,402,574	\$325,779	\$0	\$28,051	\$1,546,243	\$210,162
2036	\$210,162	\$342,068	\$0	\$4,203	\$60,606	\$495,826
2037	\$495,826	\$359,171	\$924,525	\$9,917	\$1,739,439	\$50,000
2038	\$50,000	\$377,130	\$0	\$1,000	\$343,578	\$84,552
2039	\$84,552	\$395,986	\$0	\$1,691	\$12,933	\$469,296
2040	\$469,296	\$415,786	\$0	\$9,386	\$233,332	\$661,136
2041	\$661,136	\$436,575	\$0	\$13,223	\$231,893	\$879,040
2042	\$879,040	\$458,404	\$0	\$17,581	\$909,873	\$445,152
2043	\$445,152	\$481,324	\$0	\$8,903	\$793,371	\$142,008
2044	\$142,008	\$505,390	\$0	\$2,840	\$51,465	\$598,772
2045	\$598,772	\$530,660	\$0	\$11,975	\$375,852	\$765,556
2046	\$765,556	\$557,193	\$0	\$15,311	\$112,377	\$1,225,682
2047	\$1,225,682	\$585,052	\$8,594,969	\$24,514	\$10,380,217	\$50,000
2048	\$50,000	\$614,305	\$5,117,125	\$1,000	\$5,732,430	\$50,000
2049	\$50,000	\$645,020	\$0	\$1,000	\$83,588	\$612,431
2050	\$612,431	\$677,271	\$0	\$12,249	\$147,484	\$1,154,467
2051	\$1,154,467	\$711,135	\$0	\$23,089	\$141,760	\$1,746,932
2052	\$1,746,932	\$746,691	\$0	\$34,939	\$328,849	\$2,199,713
2053	\$2,199,713	\$784,026	\$0	\$43,994	\$206,204	\$2,821,529
2054	\$2,821,529	\$823,227	\$0	\$56,431	\$47,662	\$3,653,525
		\$13,287,770	\$14,803,826	\$438,847	\$25,399,035	



Appendix F

RDH Qualifications



Maintenance and Planning (MaP)

Our Maintenance and Planning (MaP) group works with your owner group to plan and develop strategies for the long- and short-term needs of your building—everything from roof maintenance to boiler replacement. As the acronym suggests, our services are designed so that we can provide you with a comprehensive roadMaP for the management of your assets.

RDH staff have broad practical experience assisting building owners with all aspects of planning for the long-term stewardship of their building(s). Our reserve fund analysts, engineers, architects, and technologists have a wide variety of formal training—including building science, structural engineering, and mechanical engineering. We believe that by using a team approach, we can ensure an appropriate level of thoroughness and quality. We have prepared hundreds of Depreciation Reports and are recognized as industry leaders.

Depreciation Reports

A Depreciation Report is a long-range financial planning tool. It's used to identify funding requirements for costs associated with future repair, renewal, and replacement projects. The report establishes where you need to focus resources and is a good place to start developing your roadMaP.

The first step in preparing the report is to compile an inventory of all of your building's assets (roofs, boilers, carpets, etc.). Using the inventory as a foundation, we estimate the remaining life of each asset, forecast the replacement costs in future year dollars, and display the financial analysis with graphs and cash flow tables.



Principals



Mark Will | B.A. Econ.

Principal, Vancouver Regional Manager

- B.A., Economics
- Has worked in project management since 1997
- Member of the Board of Directors, Condominium Home Owner's Association (CHOA)
- Member of Professional Association of Managing Agents (PAMA)



Jason Dunn | B.Arch.Sc.

Principal, Senior Project Manager

- B.Arch.Sc., Building Science Option
- Certified Construction Contract Administrator, CSC
- Has worked in building science consulting since 2004

Associates and Project Managers



Brandon Carreira | Dipl.T.

Associate, Project Manager

- MaP Service Area Leader
- Dipl.T., Architectural & Building Engineering Technology (Building Science Option)
- Has worked in maintenance and planning consulting since 2011
- Prepared 300+ Depreciation Reports and has been involved with 500+ MaP projects



Jesse Listoen | Dipl.T.

Associate, Estimator

- Dipl.T., Architectural & Building Engineering Technology (Building Science Option)
- Has 5+ years experience in maintenance and planning consulting
- Has been involved in the preparation of 70+ Depreciation Reports



Josh Chambers | RSE, RRO

Associate, Project Manager

- B.Tech., Construction Management Program
- Red Seal Endorsement (RSE), Industry Training Authority
- Registered Roof Observer (RRO), Roof Consultants Institute Inc.
- Has worked in maintenance and planning consulting since 2021
- Joined RDH as a Building Science Technologist in 2015



Len Sakuragi | P.Eng.
Associate, Building Science Engineer

- B.A.Sc., Mechanical Engineering
- Has worked in maintenance and planning consulting since 2020
- Registered Professional Engineer, Engineers, and Geoscientists of BC



Michael Grummett | P.Eng.
Associate, Building Science Engineer

- B.Eng., Structural Engineering
- Has worked in maintenance and planning consulting since 2015
- Registered Professional Engineer, Engineers, and Geoscientists of BC



Robyn Edgar | P.Eng.
Associate, Building Science Engineer

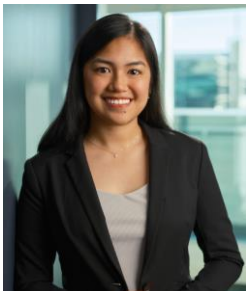
- Associate Certificate (hons), Project Management
- B.A.Sc. (with Distinction), Civil Engineering
- Has worked in maintenance and planning consulting since 2019
- Has 10 years of building science experience
- Registered Professional Engineer, Engineers, and Geoscientists of BC

Technical Staff



Alex Seto | Dipl.T.
Building Science Technologist

- Dipl.T., Architectural & Building Engineering Technology (Building Science Option)
- Has worked in maintenance and planning consulting since 2012



Danielle Raganit | Dipl.T.
Building Science Technologist

- Dipl.T., Architectural & Building Technology (Building Science Option)
- Has worked in maintenance and planning consulting since 2023



Joshua Villanueva | Dipl.T.

Building Science Technologist

- Diploma in Architectural and Building Technology
- Has worked in maintenance and planning consulting since 2021



Preston Wu | Dipl.T.

Building Science Technologist

- Dipl.T., Architectural & Building Engineering Technology (Building Science Option)
- Has worked in maintenance and planning consulting since 2016



Riley Doyle | B.A.Sc., EIT

Building Science Engineer (EIT)

- B.A.Sc., Mechanical Engineering
- Has worked in maintenance and planning consulting since 2022



Torrance Beamish | B.F.A., Dipl.T.

Building Science Technologist

- Dipl.T., Architectural & Building Engineering Technology (Building Science Option)
- Has worked in maintenance and planning consulting since 2017



Yan Marineau-Brachmann | B.A.Sc.

Building Science Engineer (EIT)

- B.A.Sc., Civil Engineering
- Has worked in maintenance and planning consulting since 2018

Administrators and Client Support



Lyka Alodaga
Project Assistant

- Certificate, Administrative Professional
- Has worked in administration within engineering/architectural firms since 2018



Vanessa Jumawan
Maintenance and Planning Coordinator

- Has worked in administration within engineering/architecture since 2008
- Maintenance and Planning Proposal Coordinator, prepares Maintenance and Planning estimates and proposals

Acknowledgements



Serge Desmarais | B.Arch. Architect AIBC, CP
Principal (In Memoriam), Senior Building Science Specialist

- RDH gratefully acknowledges the contributions of Serge Desmarais as the building science technical lead for the MaP group.
- Registered Architect AIBC, Certified Professional
- 30+ years' experience in building design and construction capital renewal projects
- RDH 2004-2017

Appendix G

Insurance Certificate

Ref. No. 320010380967

CERTIFICATE OF INSURANCE

Aon Reed Stenhouse Inc.
401 West Georgia Street, Suite 1200
PO Box 3228 STN. TERMINAL
Vancouver BC V6B 3X8
tel 604-688-4442 fax 604-682-4026

Re: Evidence of Insurance:

To Whom It May Concern
Suite 400, 4333 Still Creek Drive
Burnaby, BC V5C 6S6

Insurance as described herein has been arranged on behalf of the Insured named herein under the following policy(ies) and as more fully described by the terms, conditions, exclusions and provisions contained in the said policy(ies) and any endorsements attached thereto.

Insured

RDH Building Science Inc.
Suite 400, 4333 Still Creek Drive
Burnaby, BC V5C 6S6

Coverage

Commercial General Liability	Insurer	Zurich Insurance Company Ltd	
-----	-----	-----	-----
Policy #	8850746		
-----	-----	-----	-----
Effective	01-Jul-2024	Expiry	01-Jul-2025
-----	-----	-----	-----
Limits of Liability	Bodily Injury & Property Damage, Each Occurrence \$5,000,000 Products and Completed Operations, Aggregate \$5,000,000 Non-Owned Automobile Liability \$5,000,000 Legal Liability for Damage to Hired Automobiles \$100,000 Policy may be subject to a general aggregate and other aggregates where applicable		
-----	-----		

Architects & Engineers Professional Liability	Insurer	Certain Underwriters At Lloyd's	
-----	-----	-----	-----
Policy #	PSDEF2400249		
-----	-----	-----	-----
Effective	01-Jul-2024	Expiry	01-Jul-2025
-----	-----	-----	-----
	Per Claim \$1,000,000 Policy Term Aggregate \$2,000,000		
-----	-----		

THE POLICY CONTAINS A CLAUSE THAT MAY LIMIT THE AMOUNT PAYABLE
OR, IN THE CASE OF AUTOMOBILE INSURANCE,

THE POLICY CONTAINS A PARTIAL PAYMENT OF LOSS CLAUSE
THIS CERTIFICATE DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE POLICY

Ref. No. 320010380967

CERTIFICATE OF INSURANCE

THIS CERTIFICATE CONSTITUTES A STATEMENT OF THE FACTS AS OF THE DATE OF ISSUANCE AND ARE SO REPRESENTED AND WARRANTED ONLY TO THE INSURED. OTHER PERSONS RELYING ON THIS CERTIFICATE DO SO AT THEIR OWN RISK.

Dated : 05-July-2024

Aon Reed Stenhouse Inc

THE POLICY CONTAINS A CLAUSE THAT MAY LIMIT THE AMOUNT PAYABLE
OR, IN THE CASE OF AUTOMOBILE INSURANCE,

THE POLICY CONTAINS A PARTIAL PAYMENT OF LOSS CLAUSE
THIS CERTIFICATE DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE POLICY